



PARKES SHIRE COUNCIL

Our Vision:

*In 2022 the Parkes Shire will be a progressive regional centre,
embracing a national logistics hub with vibrant communities,
diverse opportunities, learning and healthy lifestyles.*

MINUTES

TUESDAY 15 APRIL 2014

Minutes of the Ordinary Meeting of Parkes Shire Council will be held at the Council Administration Centre, 2 Cecile Street, Parkes, commencing at 2.00 pm for the purpose of considering the items included on the Minutes.

GENERAL MANAGER: Kent Boyd

Ordinary Meeting

Minutes of the Ordinary Meeting held in the Council Chambers, 2 Cecile Street on Tuesday 15 April 2014 at 2.00pm.

PRESENT

Councillor K J Keith, (in the Chair)
Councillor M J Greenwood
Councillor B J McCorkell
Councillor B F Newton
Councillor G W Pratt

Councillor A J Ward
Councillor R C Haddin
Councillor K M McGrath
Councillor L A O'Leary
Councillor P J Smith

IN ATTENDANCE

General Manager - K Boyd
Director Technology and Corporate Services - L Finn
Director Planning and Environment - S Campbell
Manager Works - B Howard
Manager Governance and Corporate Strategy - B Byrnes
Management Accountant - O Jensen
Acting Tourism Manager – K Dwyer
Culture, Education and Library Services Manager – S Buckle
Minutes Secretary - S Henry

MEETING COMMENCEMENT

The Meeting commenced at 2.00pm.

1 PRAYER

The Mayor asked the General Manager to open proceedings with a prayer.

2 APOLOGIES

Nil

At this stage the Mayor informed the meeting that Councillor LA O'Leary had advised that due to a personal commitment she would be arriving late to the Council meeting.



General Manager



Mayor

3 CONFIRMATION OF MINUTES OF PREVIOUS MEETING

14 - 169 Resolution

That the Minutes of the Ordinary Meeting of Parkes Shire Council held on Tuesday 01 April 2014 copies of which have been forwarded to Councillors, be confirmed.

Moved Councillor Michael Greenwood, seconded Councillor Barbara Newton.

CARRIED

4 DECLARATIONS OF INTEREST

Nil

5 NOTICES OF MOTION/RESCISSION

Nil

6 LATE BUSINESS

In accordance with Council's Code of Meeting Practice 3.7(c) a decision is now required to determine which, if any Late item/s submitted to the meeting will be dealt with at the meeting or deferred for further consideration at a future Ordinary Meeting of Parkes Shire Council.

14 - 170 Resolution

That Late Items 7.4 and 7.5 be considered at this Council meeting.

Moved Councillor Alan Ward, seconded Councillor Pat Smith.

CARRIED



General Manager



Mayor

7 MAYORAL MINUTES

7.1 Mayoral Minute - Functions attended by Mayor and Councillors

Executive Summary

A report on the functions recently attended by the Mayor, Councillors or Senior Staff in relation to community events or civic matters

Recommendation

1. That the report of upcoming functions for the Mayor, Councillors or Senior Staff be received and noted.

14 - 171 Resolution

That the information be received and noted.

Moved Councillor George Pratt, seconded Councillor Bob Haddin.

CARRIED

7.2 Mayoral Minute - Coming Known Events for Mayor and Councillors

Executive Summary

A report on the upcoming functions requiring the attendance of the Mayor, Councillors or Senior Staff in relation to community events or civic matters.

Recommendation

1. That the report of upcoming functions for the Mayor, Councillors or Senior Staff be received and noted.

14 - 172 Resolution

That the information be received and noted.

Moved Councillor Alan Ward, seconded Councillor Barbara Newton.

CARRIED



General Manager



Mayor

7.3 Mayoral Minute - Melbourne to Brisbane Inland Rail Alliance (MBIRA) meeting - Sydney 4 April 2014

Executive Summary

The Melbourne Brisbane Inland Rail Alliance (MBIRA) held a meeting in Sydney last Friday to discuss how Local Government can work together to help advocate and facilitate the development of the Melbourne to Brisbane Inland Rail.

Mayor Cr Ken Keith was formally endorsed as the Chair of MBIRA with Moree Shire Plains, Deputy Mayor Cr Sue Price endorsed as the Deputy Chair. The rest of the Executive includes the Mayor of Toowoomba Cr Paul Antonio, Reid Mather the Executive Officer from the Alliance of Councils for Rail Freight Development in Victoria and Parkes Shire Council General Manager Kent Boyd will be the Secretary.

Momentum for the Melbourne to Brisbane Inland Rail continues to grow. The Federal Government has committed \$300 million in the next budget for corridor acquisition and detailed alignment. The Deputy Prime Minister and Minister for Infrastructure and Regional Development Warren Truss, has announced a High Level Implementation Group, headed by former Deputy Prime Minister John Anderson to fast track the Inland Rail.

Recommendation

1. That this report be received and noted.

14 - 173 Resolution

That the information be received and noted.

Moved Councillor Ken McGrath, seconded Councillor Pat Smith.

CARRIED



General Manager



Mayor

7.4 Mayoral Minute - School Student Transport Scheme

Executive Summary

Local Member for Dubbo Troy Grant has forwarded a response from the Minister for Transport in regards to his representations on behalf of Parkes Shire Council to changes to the School Student Transport Scheme. Troy Grant has strongly advocated for parents on this issue.

Recommendation

1. That the information be received and noted.
2. That Council advise the Minister for Transport on its disappointment on the decision to withdraw school bus subsidies.
3. That a letter of appreciation be forwarded to the Local Member thanking him for his representations to the Minister on the school bus subsidy issue for Parkes School children.
4. That through the local media and Council's networks, parents and school students affected by the changes be encouraged to submit an appeal through the School Student Transport Scheme (SSTS) Appeal process

14 - 174 Resolution

1. That the information be received and noted.
2. That Council advise the Minister for Transport on its disappointment on the decision to withdraw school bus subsidies.
3. That a letter of appreciation be forwarded to the Local Member thanking him for his representations to the Minister on the school bus subsidy issue for Parkes School children.
4. That through the local media and Council's networks, parents and school students affected by the changes be encouraged to submit an appeal through the School Student Transport Scheme (SSTS) Appeal process.
5. A meeting be arranged with the local school Principals to gain their input on changes to School Student Transport Scheme (SSTS).

Moved Councillor Alan Ward, seconded Councillor Michael Greenwood.

CARRIED



General Manager



Mayor

7.5 Mayoral Minute - Resignation of Mr Bill Gillooly AM from Local Government NSW

Executive Summary

Councillor Keith Rhoades AFSM, President Local Government NSW (LGNSW) has advised of the resignation of Mr Bill Gillooly AM Chief Executive Officer Local Government NSW.

Recommendation

1. That the information be received and noted.
2. That a letter of appreciation be forwarded to Mr Bill Gillooly AM acknowledging his service to Local Government NSW as Chief Executive Officer Local Government NSW.

14 - 175 Resolution

That the recommendation be adopted.

Moved Councillor Barbara Newton, seconded Councillor Michael Greenwood.

CARRIED

At this stage being 2.32pm the Mayor welcomed Mr Norman Mann (Chair) and Lucy White (Executive Officer) from Central NSW Tourism to the meeting. Mr Mann and Ms White presented to Council an update from Central NSW Tourism – a 12 month snapshot for Parkes Shire.

The Mayor thanked them for their presentation and the Council meeting resumed at 2.57pm.

8 COUNCILLORS' REPORTS

Nil



General Manager



Mayor

9 INWARDS CORRESPONDENCE

9.1 (ICR) - Letters of Appreciation

Executive Summary

During the exercise of its various functions, Council frequently receives letters of appreciation for services rendered or actions taken by Councillors and staff. The most recently received are from Rebeckah Auld and CTC@Trundle.

Recommendation

1. That the information be received and noted.

14 - 176 Resolution

That the information be received and noted.

Moved Councillor Ken McGrath, seconded Councillor Belinda McCorkell.

CARRIED

10 GENERAL MANAGER'S REPORT

10.1 (GM) Application for Union Picnic Day 2014

Executive Summary

The Parkes Branch of the United Services Union has applied for Monday 22 September 2014 to be allocated as the annual Union Picnic Holiday.

Recommendation

1. That Monday 22 September 2014 be approved as the annual Union Picnic Holiday as requested by the Parkes Branch of the United Services Union.

14 - 177 Resolution

That the recommendation be adopted.

Moved Councillor Bob Haddin, seconded Councillor George Pratt.

CARRIED



General Manager



Mayor

10.2 (GM) Roads to Recovery Funding

Executive Summary

Advice has been received from Local Government NSW (LGNSW) in regards to delays in the passage of legislation to secure Roads to Recovery (R2R) funding. The advice is contained in the following letter from LGNSW for Councillors information.

Recommendation

1. That the information be received and noted.

14 - 178 Resolution

That the information be received and noted.

Moved Councillor Belinda McCorkell, seconded Councillor Barbara Newton.

CARRIED

11 DIRECTOR TECHNOLOGY AND CORPORATE SERVICES REPORT

11.1 (DTCS) Financial Information as at 31 March 2014

Executive Summary

A regular report is provided to Council in relation to a number of financial indicators, including investments, total monthly repayments, receipting and collection of rate revenue.

Recommendation

1. That the report detailing accounts paid, rate revenue collected, receipts received and the bank reconciliation to 31 March 2014 be received and noted.

14 - 179 Resolution

That the information be received and noted.

Moved Councillor Michael Greenwood, seconded Councillor Alan Ward.

CARRIED



General Manager



Mayor

11.2 (DTCS) Investments as at 31 March 2014

Executive Summary

The carrying value of Council's investments at 31 March 2014 was \$ 62,275,120.

Recommendation

1. That the information in relation to investments held at 31 March 2014 be received and noted.

14 - 180 Resolution

That the information be received and noted.

Moved Councillor Alan Ward, seconded Councillor Bob Haddin.

CARRIED

11.3 (DTCS) Tourism and Event Update April 2014

Executive Summary

A brief update of general Shire tourism and event activities.

Recommendation

That the Tourism and Event Update be received and noted.

14 - 181 Resolution

That the information be received and noted.

Moved Councillor Ken McGrath, seconded Councillor Michael Greenwood.

CARRIED



General Manager



Mayor

11.4 (DTCS) Library Services Statistics and Monthly Update

Executive Summary

Library usage statistics for the month of March 2014 and recent activities are provided for the information of Council.

Recommendation

1. That the information be noted.
2. That Councillor/s be nominated to represent Council at the NSW Public Libraries 2014 conference.

14 - 182 Resolution

1. That the information be noted.
2. That Councillor BF Newton and Councillor PJ Smith be nominated to represent Council at the NSW Public Libraries 2014 conference.

Moved Councillor Barbara Newton, seconded Councillor George Pratt.

CARRIED



General Manager



Mayor

12 DIRECTOR PLANNING AND ENVIRONMENT'S REPORT

12.1 (DPE) March 2014 Building Statistics

Executive Summary

During the month of March 2014 there were nineteen (19) Development Applications received totalling \$3,377,285.00 and seven (7) consents were issued. Two (2) Complying Development Certificates were received totalling \$42,410.00 and four (4) consents were issued.

Recommendation

1. That the information be received and noted.

14 - 183 Resolution

That the information be received and noted.

Moved Councillor Michael Greenwood, seconded Councillor Barbara Newton.

CARRIED



General Manager



Mayor

12.2 (DPE) Planning Proposal - Proposed Rezoning of Lot 12 in DP 1131006, Lorking Street, Parkes

Executive Summary

Council has received a Planning Proposal from Geolyse Pty Ltd on behalf of Karina White and Duane Sullivan to amend the *Parkes Local Environmental Plan 2012*. The Planning Proposal relates to Lot 12 DP 1131006, Lorking Street, Parkes and seeks to rezone the RU1 Primary Production portion of the land to R1 General Residential and amend the minimum lot size from 400 hectares to 600m².

The subject land is identified in the *Parkes Land Use Strategy 2012* as being suitable for future residential use. Should Council support the planning proposal it will be forwarded to Planning and Infrastructure for a gateway determination. The gateway determination will stipulate if the planning proposal should proceed and outline any necessary referrals, any additional information required and the community consultation requirements.

A copy of the planning proposal is included as an attachment to this report.

Recommendation

That Council:

1. receive and note the planning proposal for the proposed rezoning of Lot 12 DP1131006, Lorking Street, Parkes.
2. forward the Planning Proposal to Planning and Infrastructure for Gateway Determination in accordance with Section 56 of the Environmental Planning and Assessment Act 1979.
3. Council request that Planning and Infrastructure delegate the plan making powers to Council in accordance with Section 59(2) of the Environmental Planning and Assessment Act 1979.

14 - 184 Resolution

That the recommendation be adopted.

Moved Councillor Ken McGrath, seconded Councillor George Pratt.

CARRIED



General Manager



Mayor

The consensus of the Council was that item 12.3 be tabled after the presentations and afternoon tea.

14 - 185 Resolution

That consideration of the matter be deferred until later in the meetings agenda to accommodate a scheduled presentation to Council.

Moved Councillor Alan Ward, seconded Councillor George Pratt.

CARRIED

13 DIRECTOR ENGINEERING SERVICES REPORT

13.1 (DES) Works Program Progress

Executive Summary

Other than routine maintenance, major works that have been carried out over the past month are reported below.

Recommendation

1. That the information on Works Program Progress as at April be noted.

14 - 186 Resolution

That the information be received and noted.

Moved Councillor Alan Ward, seconded Councillor Ken McGrath.

CARRIED



General Manager



Mayor

13.2 (DES) Request for Assistance - Tullamore Irish Festival

Executive Summary

A request has been received from the organisers of the Tullamore Irish Festival requesting assistance from Council in implementing traffic control services during the street parade for this year's Festival.

Recommendation

1. For consideration by Council.

14 - 187 Resolution

1. That Council accede to the request from the Tullamore Irish Festival Committee and the matter of recurring assistance in this regard, be considered later this year to provide sufficient time for discussion prior to the next Festival.

Moved Councillor Belinda McCorkell, seconded Councillor Alan Ward.

CARRIED

Councillor LA O'Leary joined the meeting at 3.35pm.

At this stage being 3.36pm the Mayor welcomed Mrs Jan Savage from Western Care Lodge Orange to the meeting.

The Mayor presented Mrs Savage with a cheque for \$11,045.25 representing funds raised during the recent Mayor's Swim a thon.

The Mayor made special mention of \$4,000 included in the contribution, which was donated by the Bindogundra Anglican Catholic Mission community.

Representatives from Parkes Rotary were also in attendance.

The Mayor then invited all present to join Councillors for afternoon tea.

The meeting adjourned for Afternoon tea at 3.50pm.

Meeting resumed at 4.10pm



General Manager



Mayor

Item 12.3 was tabled after its deferment earlier in the meeting.

12.3 (DPE) Development Application No. DA14006 Industrial Activity (Asphalt Hot Mix Plant)

Development Application Information

Application No: DA14006

Applicant: Geolyse Pty Ltd on behalf of Civil Independence

Property: Lot 2 DP 1073363, 27-31 Matthews Street, Parkes

Proposal: Industrial Activity (Asphalt Hot Mix Plant)

Executive Summary

Development Application No. DA14006 proposes an Industrial Activity (Asphalt Hot Mix Plant) at Lot 2 DP1073363, 27-31 Matthews Street, Parkes. A copy of the site and elevation plans, a Statement of Environmental Effects and associated documentation is included in an attachment to this report. The application was lodged on 15 January 2014 by Geolyse Pty Ltd on behalf of Civil Independence.

The application has been reported to Council for consideration for the following reasons:

- a submission was received from an adjoining land owner during the public exhibition period
- the proposal is not consistent with the Parkes Shire Council Industrial Estate Development Control Plan 1998 in terms of the proposed building design (Section 3.2).

Recommendation

It is recommended that the application be approved subject to the conditions contained in the attached report.

14 - 188 Resolution

1. It is recommended that the application be approved subject to the conditions contained in the attached report.
2. Subject to Condition 8 being amended to include the table in the details of the proposed development.

Moved Councillor Ken McGrath, seconded Councillor Michael Greenwood.

CARRIED

For: Cr KJ Keith, Cr AJ Ward, Cr MJ Greenwood, Cr RC Haddin, Cr BJ McCorkell, Cr KM McGrath, Cr BF Newton, Cr LA O'Leary, Cr GW Pratt, Cr PJ Smith.

Against: Nil.



General Manager



Mayor

13.3 (DES) NSW Local Government Road Safety Program - Extension of Funding Commitment

Executive Summary

Advice has been received that the funding for the Local Government Road Safety Program, under which Melanie Sutor is employed as the Road Safety Officer for Parkes, Forbes and Lachlan Shire Councils, will be extended for a further 3 Years commencing 1 July 2014.

Recommendation

1. That Parkes Shire Council continue its participation in the Local Government Road Safety Program and sign the Deed of Variation when received.
2. That Council write to Minister Gay and compliment him on providing funding certainty for the Road Safety Program.

14 - 189 Resolution

That the recommendation be adopted.

Moved Councillor Belinda McCorkell, seconded Councillor Alan Ward.

CARRIED

13.4 (DES) Rural Road Advisory Group Meeting

Executive Summary

A meeting of the Rural Road Advisory Group was held Wednesday 2 April 2014 at Peak Hill. The Minutes of the meeting are attached for Council's information.

Recommendation

1. That the information on the Rural Roads Advisory Group meeting be noted.

14 - 190 Resolution

That the information be received and noted.

Moved Councillor Alan Ward, seconded Councillor George Pratt.

CARRIED



General Manager



Mayor

14 CONSIDERATION OF COMMITTEE MINUTES

14.1 Committee Minutes - Economic Development Committee - Airport Sub Committee - Meeting held 1 April 2014 - Bogan Gate

Executive Summary

A meeting of the Airport Sub Committee was held in Bogan Gate on the 1 April 2014. The Committee met to discuss the latest the progress of the Parkes Regional Airport redevelopment and to review and approve the functional brief which has been developed by Rehbein Airport Consultants to call for expressions of interest for Architects for the design of the Airport Terminal. The minutes of the meeting are attached.

Recommendation

1. That the Minutes of the Economic Development Committee - Airport Sub Committee meeting held on 1 April 2014 be received and noted and if appropriate, the recommendations be adopted.

14 - 191 Resolution

That the recommendation be adopted.

Moved Councillor Bob Haddin, seconded Councillor George Pratt.

CARRIED

15 QUESTIONS AND MATTERS OF URGENCY

Nil.



General Manager



Mayor

16 CONSIDERATION OF CONFIDENTIAL BUSINESS ITEMS

The meeting of the Ordinary Council meeting was closed to the public at 4.30pm

The Mayor asked the Meeting whether it agreed that the items listed by the General Manager appeared to be items which should be discussed in closed session for the reasons given.

The General Manager advised that there were no written representations from the public on the proposed closure of the Council Meeting.

14 - 192 Resolution

That the meeting be closed for consideration of the listed items as they involve: information that would, if disclosed confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, personnel matters concerning particular individuals (other than Councillors) and commercial information of a confidential nature that would if disclosed prejudice the commercial position of the person who supplied it.

Moved Councillor Michael Greenwood, seconded Councillor Barbara Newton.

CARRIED



General Manager



Mayor

16.1 (GM) Parkes Sports Council

Prepared By: General Manager

Executive Summary

The Parkes Sports Council (SC) has operated for decades, largely without change. The SC is very well established and very respected in Parkes and the envy of many other regions.

This report discusses compliance of the existing arrangements with current legislation.

Recommendation

1. That Council agree in-principle to the strategy in this report.
2. That a report be made to open Council when the details of implementation are complete.

14 - 193 Resolution

That the recommendation be adopted.

Moved Councillor Ken McGrath, seconded Councillor Michael Greenwood.

CARRIED

There being no further business the Mayor declared the meeting closed at 5.00pm.



General Manager



Mayor

- 1 PRAYER**
- 2 APOLOGIES**
- 3 CONFIRMATION OF MINUTES OF PREVIOUS MEETING**
- 4 DECLARATIONS OF INTEREST**
- 5 NOTICES OF MOTION/RESCISSION**
- 6 LATE BUSINESS**



General Manager



Mayor

7 MAYORAL MINUTES

7.1 Mayoral Minute - Functions attended by Mayor and Councillors

Executive Summary

A report on the functions recently attended by the Mayor, Councillors or Senior Staff in relation to community events or civic matters

Background Information

Nil.

Legislative, Policy & Management Planning Implications

Nil.

Budget & Financial Aspects

Nil.

Recommendation

1. That the report of upcoming functions for the Mayor, Councillors or Senior Staff be received and noted.

Report

Date	Function
Wednesday 2 April 2014	Meeting with Parkes Sports Council Executive Mayor KJ Keith and Councillor MJ Greenwood
Wednesday 2 April 2014	Rural Roads Advisory Group meeting at Peak Hill Deputy Mayor AJ Ward, Councillor LA O'Leary and Works Manager B Howard
Thursday 3 April 2014	Currajong Disability Services - Promotion of Living and Working in the Community Councillor BJ McCorkell



General Manager



Mayor

Date	Function
Thursday 3 April 2014	Rural Fire Service SMT Meeting at Trundle Councillors Barbara Newton and RC Haddin
Thursday 3 April 2014	Meeting with Vicky Lennox - Transport NSW Mayor KJ Keith and General Manager K Boyd (As Centroc representatives)
Thursday 3 April 2014	Meeting with Alison Morgan Regional Coordinator for the Department of Premier and Cabinet Mayor KJ Keith, General Manager K Boyd, Manager Economic and Business Development A Wyllie and Tourism Manager K Dwyer
Thursday 3 April 2014	Life Education Australia Mayor KJ Keith
Thursday 3 April 2014	Waste to Art Winners announcement at Parkes Library Centre Mayor KJ Keith
Friday 4 April 2014	Melbourne to Brisbane Inland Rail Alliance meeting Mayor KJ Keith, General Manager K Boyd and Economic and Business Development Manager A Wyllie
Saturday 05 April 2014	Welcome Visitors to Trundle ABBA Festival Mayor KJ Keith and Mrs. Sue Keith
Sunday 06 April 2014	Retirement luncheon for Middleton Public School Principal Sheree Rosser Mayor KJ Keith and Mrs. Sue Keith
Monday 7 April 2014	Official Blessing and Opening of new state of art learning facilities , the Trade Training Hospitality and the Technology and Applied Studies buildings and renaming of refurbished Chapel at Red Bend Catholic College Forbes Councillor MJ Greenwood
Monday 7 April 2014	Elvis Revival Committee meeting Mayor KJ Keith and General Manager K Boyd
Tuesday 8 April 2014	Access Committee meeting Councillor KM McGrath



General Manager



Mayor

Date	Function
Tuesday 8 April 2014	Lachlan Health Council meeting Mayor KJ Keith
Tuesday 8 April 2014	Parkes Chamber of Commerce meeting Deputy Mayor AJ Ward
Wednesday 9 April 2014	Western NSW Mining and Resource Development Taskforce meeting Mayor KJ Keith as Centroc Chair
Wednesday 9 April 2014	Life Education Australia Board Meeting Mayor K Keith
Wednesday 9 April 2014	Tullamore & District Community Consultative Committee meeting Councillor BF Newton
Thursday 10 April 2014	Meeting with Fire & Rescue NSW Mayor KJ Keith and General Manager K Boyd
Thursday 10 April 2014	Skillset Audit Meeting Councillor RC Haddin
Friday 11 April 2014	Parkes High School Awards Recognition ceremony Deputy Mayor AJ Ward
Saturday 12 April 2014	Celebrating 20 years in business - GWS Personnel Mayor KJ Keith
Sunday 13 April 2014	Flag off cars - Sydney to London Marathon from cnr Church & Clarinda Streets Parkes Mayor KJ Keith
Monday 14 April 2014	Parkes Shire Aboriginal Community meeting Councillor KM McGrath

Attachments

Nil.



General Manager



Mayor

7.2 Mayoral Minute - Coming Known Events for Mayor and Councillors

Executive Summary

A report on the upcoming functions requiring the attendance of the Mayor, Councillors or Senior Staff in relation to community events or civic matters.

Background Information

Nil.

Legislative, Policy & Management Planning Implications

Nil.

Budget & Financial Aspects

Nil.

Recommendation

1. That the report of upcoming functions for the Mayor, Councillors or Senior Staff be received and noted.

Report

Date	Function
Tuesday 15 April 2014	Council Meeting All Councillors and Senior Staff
	Known Meetings/Presentations Presentation to Council by Central NSW Tourism
Thursday 17 April 2014	Centroc GMAC (Centroc General Managers) Meeting General Manager K Boyd



General Manager



Mayor

Date	Function
Friday - Sunday 18 - 20 April 2014	Tullamore Irish Festival Saturday 19th 10.30am - Leading the Street Parade 1.00pm - Official opening of the Festival Mayor KJ Keith All Councillors welcome to attend
Saturday 19 April 2014	Welcome participants and flag off on first run of 2014 Bush Council Heritage Vehicles Car Rally from Parkes Racecourse Eugowra road Deputy Mayor AJ Ward
Sunday 20 April 2014	Ordination ceremony for Pastor Jennifer Sturm Vision Ministries Mamre Farm Alectown Mayor KJ Keith and Mrs. Sue Keith
Wednesday 23 April 2014	GP Working Group meeting Mayor KJ Keith
Thursday 24 April 2014	Trundle Community Consultative Committee Meeting Councillor GW Pratt
Friday 25 April 2014	ANZAC Day Dawn and Commemorative Services throughout the Shire Bogan Gate Dawn Service Mayor KJ Keith Parkes Dawn Service Councillor GW Pratt Parkes Cooke Park Commemorative Service Deputy Mayor AJ Ward Councillor MJ Greenwood (MC) Peak Hill Dawn and Commemorative Service Councillor LA O'Leary Trundle Commemorative Service Mayor KJ Keith Tullamore Dawn and Commemorative Service Councillor BF Newton



General Manager



Mayor

Date	Function
Monday 28 April 2014	Peak Hill Community Consultative Committee Meeting Councillor LA O'Leary
Monday 5 May 2014	Elvis Revival Committee meeting Mayor KJ Keith, Deputy Mayor AJ Ward
Tuesday 6 May 2014	Council Meeting All Councillors and Senior Staff
	Known Meetings/Presentations Presentation to Council by Centroc CEO

Attachments

Nil.



General Manager



Mayor

7.3 Mayoral Minute - Melbourne to Brisbane Inland Rail Alliance (MBIRA) meeting - Sydney 4 April 2014

Executive Summary

The Melbourne Brisbane Inland Rail Alliance (MBIRA) held a meeting in Sydney last Friday 04 April 2014, to discuss how Local Government can work together to help advocate and facilitate the development of the Melbourne to Brisbane Inland Rail.

Mayor Cr Ken Keith was formally endorsed as the Chair of MBIRA with Moree Shire Plains, Deputy Mayor Cr Sue Price endorsed as the Deputy Chair. The rest of the Executive includes the Mayor of Toowoomba Cr Paul Antonio, Reid Mather the Executive Officer from the Alliance of Councils for Rail Freight Development in Victoria and Parkes Shire Council General Manager Kent Boyd will be the Secretary.

Momentum for the Melbourne to Brisbane Inland Rail continues to grow. The Federal Government has committed \$300 million in the next budget for corridor acquisition and detailed alignment. The Deputy Prime Minister and Minister for Infrastructure and Regional Development Warren Truss, has announced a High Level Implementation Group, headed by former Deputy Prime Minister John Anderson to fast track the Inland Rail.

Background Information

At the Inland Rail Symposium held in Moree in March 2014 an informal meeting of the Melbourne - Brisbane Inland Rail Alliance (MBIRA) was held at which it was decided that a formal meeting of MBIRA be held in Sydney in April.

Parkes Shire Council facilitated this meeting and it was held in Sydney at the NSW Country Embassy - MLC Centre in Martin Place on the 4th of April.

Legislative or Policy Implications

Nil

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to: *5. Develop Parkes as a National Logistics Hub*

Predicted positive effect / opportunity for the Delivery Program: *Good*

Predicted negative / challenge to the Delivery Program: *Moderate*

Quadruple Bottom Line



Economic ★★★★★



Environmental ★★★★★



Social ★★★★★



Civic Leadership ★★★★★

General Manager

Mayor

Budget & Financial Aspects

Nil

Recommendation

1. That this report be received and noted.

Report

Momentum for the Melbourne to Brisbane Inland Rail continues to grow. The Federal Government has committed \$300 million in the next budget for corridor acquisition and detailed alignment. The Deputy Prime Minister and Minister for Infrastructure and Regional Development Warren Truss, has announced a High Level Implementation Group, headed by former Deputy Prime Minister John Anderson to fast track the Inland Rail.

The Melbourne Brisbane Inland Rail Alliance (MBIRA) held a meeting in Sydney last Friday 04 April 2014, to discuss how Local Government can work together to help advocate and facilitate the development of the Melbourne to Brisbane Inland Rail.

Mayor Cr Ken Keith was formally endorsed as the Chair of MBIRA with Moree Shire Plains, Deputy Mayor Cr Sue Price endorsed as the Deputy Chair. The rest of the Executive includes the Mayor of Toowoomba Cr Paul Antonio, Reid Mather the Executive Officer from the Alliance of Councils for Rail Freight Development in Victoria and Parkes Shire Council General Manager Kent Boyd will be the Secretary.

The meeting was well attended by Local Government representatives from NSW, Victoria and Queensland. Attending Councils included Wagga Wagga City Council, Gilgandra Shire Council, Narromine Shire Council, Gilgandra Shire Council, Scenic Rim Regional Council, Moree Plains Shire Council, Gwydir Shire Council, Toowoomba Regional Council and the Executive Officer from the Alliance of Council's for Rail Freight Development in Victoria.

The meeting discussed MBIRA's Charter including its membership makeup. It was concluded that the membership which would be restricted to Local Government.

The purpose of the Alliance was defined as:

1. To advocate to current and future Commonwealth Governments of Australia and the Queensland, Victorian and New South Wales Governments and local authorities along the route to set common timelines and budgets and commit to build the Melbourne to Brisbane Inland Rail, to future-standards, during the current decade.
2. To advocate for the MBIR to be built to a modern future-standard, sufficient to drive modal-shift from long-haul road to rail and to push for economic development for the regions along the line to ensure commercial viability.
3. To provide an unified voice for Local Government to facilitate the path of the Inland Rail.
4. To liaise with the Implementation Group to advocate for and facilitate for the Inland Rail



General Manager



Mayor

Mayor Keith has been in contact with the Implementation Group regarding MBIRA's participation in the development of the project and has been encouraged by their inclusive response.

The meeting concluded with four actions going forward:

1. Write to Minister Truss for further clarification regarding the terms of reference provided to the Implementation Group.
2. Write to all Councils along the route seeking their participation and requesting that a delegate be nominated. Also encouraging them to make a submission to the Implementation Group.
3. A Communication/ Marketing strategy to be developed.
4. MBIRA to make a submission to the Implementation Group regarding the need for the Inland Rail needs to be built to a modern future-standard, sufficient to drive modal-shift from long-haul road to rail and to push for economic development for the regions along the line.

Attachments

Nil



General Manager



Mayor

7.4 Mayoral Minute - School Student Transport Scheme

Executive Summary

Local Member for Dubbo Troy Grant has forwarded a response (Attached) from the Minister for Transport in regards to his representations on behalf of Parkes Shire Council to changes to the School Student Transport Scheme.

Background Information

Council was informed at its Traffic Committee meeting held on 13 November 2013 that the Minister for Transport NSW has advised that subsidised travel for 180 Parkes students will no longer be available from the commencement of the new school year based on the findings of a Transport NSW audit.

Local Member Troy Grant was requested to seek representations to the Minister for Transport on the issue including the timing of the advice to parents which was in the final weeks of the last term of the school year.

At Council's meeting of 21 January 2014 Council considered the Minister's response advising that subsidised travel for the identified students and new applicants will no longer be available from the commencement of the new school year based on the findings of a Transport NSW audit.

Council resolved to support the Local Member, parents, bus operator and schools in calling for a stay of proceedings until the Guidelines used to assess subsidised travel to school are reviewed by the Minister and Transport NSW.

The Ministers response to the latest representations is attached for Councillors information.

Legislative or Policy Implications

Nil.

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to: *1. Develop Lifelong Learning Opportunities*

Predicted positive effect / opportunity for the Delivery Program: *Negative*

Removal of subsidy could affect educational outcomes

Predicted negative / challenge to the Delivery Program: *High*



General Manager



Mayor

Quadruple Bottom Line



Economic

★★★★★



Environmental

★★★★★



Social

★★★★★



Civic Leadership

★★★★★

Budget & Financial Aspects

Nil.

Recommendation

1. That the information be received and noted.
2. That Council advise the Minister for Transport on its disappointment on the decision to withdraw school bus subsidies.
3. That a letter of appreciation be forwarded to the Local Member thanking him for his representations to the Minister on the school bus subsidy issue for Parkes School children.
4. That through the local media and Council's networks, parents and school students affected by the changes be encouraged to submit an appeal through the School Student Transport Scheme (SSTS) Appeal process

Attachments

1. Correspondence from Local Member for Dubbo Troy Grant

General Manager

Mayor



Troy Grant MP

MEMBER FOR DUBBO ELECTORATE

Mr Kent Boyd
General Manager
Parkes Shire Council
PO Box 337
PARKES NSW 2870

7 April 2014

Dear Kent

I enclose a letter received from the Hon Gladys Berejiklian MP, Minister for Transport regarding the School Student Transport Scheme (SSTS) and my representations on this issue.

As you are aware I have been fighting for the community on this issue and have been seeking reinstatement of the lost bus passes until such time that a better managed and much better communicated audit of the scheme could be carried out.

The Minister states that a review of the Parkes area had not been undertaken since the realignment of the Newell Highway approximately 10 years ago, and that Transport for NSW conducted a survey based on the current guidelines.

Unfortunately for those who have lost their bus passes, Transport believes that the pedestrian infrastructure in Parkes is now sufficient and compliant with the existing guidelines.

I encourage all those families whose children have lost their passes under this review to appeal the decision. I enclose a copy of the appeal form with this letter.

Yours sincerely

Troy Grant MP
Member for Dubbo

Electorate Office

1/18 Talbragar St
Dubbo NSW 2830

PO Box 1327
Dubbo NSW 2830
ph 02 6882 3577
fax 02 6882 3689

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dubbo@parliament.nsw.gov.au
www.troygrant.com.au



THE **NATIONALS** for Regional NSW

General Manager

Mayor



The Hon Gladys Berejiklian MP
Minister for Transport

Mr Troy Grant MP
Member for Dubbo
PO Box 1327
DUBBO NSW 2830

Dear Mr Grant, *Troy,*

Thank you for meeting with me earlier this month on behalf of the school community in Parkes, regarding the School Student Transport Scheme (SSTS).

I acknowledge your strong advocacy on behalf of your constituents affected by the recent review of bus passes for students in the Parkes area. Thank you for your direct feedback and correspondence over recent months.

As you are aware, a review of the Parkes area had not been undertaken since the realignment of the Newell Highway out and around the town centre approximately 10 years ago. Transport for NSW conducted a field survey of the Parkes area based on the current 'Guidelines for Determining the Safety of a Walking Route to School'. This survey confirmed that based on current guidelines, the pedestrian infrastructure in Parkes is now sufficient and compliant.

While I acknowledge your specific concerns regarding the volume of traffic and school attendance levels in Parkes, Transport for NSW's assessment only considers the SSTS distance criteria and the suitability of pedestrian infrastructure. The guidelines ensure the distance eligibility test is applied to a route that is suitable to walk along.

Not receiving a free bus pass does not mean students are left to walk to school or pay full fare. School students are entitled to half price fares when using public transport, and some bus companies offer term passes or periodical tickets at discounted rates.

I also acknowledge your disappointment regarding the timing of notice to parents in December last year. Once again, Transport for NSW sincerely regrets the inconvenience this caused parents.

I am advised that the independent SSTS Appeals Panel is scheduled to meet twice this month to process appeal application forms as quickly as possible for those parents seeking an independent review of Transport for NSW's decision.

Thank you for bringing the concerns of your local community to my attention.

Yours faithfully,

Gladys Berejiklian
Gladys Berejiklian MP
Minister for Transport

13 MAR 2014



Level 35, Governor Macquarie Tower, 1 Farrer Place, Sydney NSW 2000
Phone: (61 2) 9228 5266 Fax: (61 2) 9228 3744 Email: office@berejiklian.minister.nsw.gov.au

General Manager

Mayor



Transport

SSTS Appeals Panel Form No: 001

**NEW SOUTH WALES SCHOOL STUDENT TRANSPORT SCHEME
APPEALS PANEL**

SSTS APPEALS PANEL APPLICATION FORM

The School Student Transport Scheme (SSTS) Appeals Panel is an independent body comprised of a person representing parent groups and representatives from the Department of Education and Training and Sydney Ferries.

The Panel can independently review Transport NSW's determinations on SSTS eligibility in cases where special circumstances, such as safety and hardship issues, may apply. Special circumstances generally relate to situations where a family experiences exceptional and/or substantial issues in transporting an ineligible child to school.

The Panel does not review decisions about the mode of transport or the route approved for eligible students to travel by, nor the application of the radial distance test by the school or transport operator, nor the walking distance test conducted by Transport NSW.

SSTS Eligibility Criteria

To be eligible for subsidised travel, primary or secondary school students must meet one of the following criteria:

Primary Students (Years 3-6)

- (i) must reside more than 1.6 kilometres (radial distance) from the school attended, measured on a radius from the centre of the school site or 2.3 kilometres or more by the most direct practicable walking route to the nearest point of physical entry to the school; or

Secondary Students (Years 7-12)

- (i) must reside more than 2 kilometres (radial distance) from the school attended, measured on a radius from the centre of the school site, or 2.9 kilometres or more by the most direct practicable walking route to the nearest point of physical entry to the school.

Under the SSTS, student travel is only available between a student's place of residence and school attended.

SSTS Appeals

For an appeal to be considered by the SSTS Appeals Panel, the remainder of this form needs to be completed and any supporting documentation supplied. Please note that a separate form needs to be completed for each student seeking subsidised travel under the School Student Transport Scheme.

Details:

Student Name (Please Print)	Date of Birth	School	Class Year

**Street Address
of Your Home** _____

Suburb: _____ **Postcode:** _____

Telephone No: _____ **Mobile No:** _____

Cont...

General Manager

Mayor

**Reason(s)
for appeal:** _____

**Details of any (attached)
supporting documentation:** _____

Parent/Guardian's name (Please Print): _____

Declaration: I certify that the information provided in this appeal is true and accurate, and realise that should information be found to be false, or to no longer apply, then subsidised SSTS transport may be withdrawn.

Signed _____ **Day** _____ **Month** _____ **Year** _____

Please send your application to: **SSTS Appeals Panel**
PO Box K659
HAYMARKET NSW 1240

For SSTS Appeals queries please call: **(02) 8202 3767**

SSTS Appeals Panel Form No: 001
Version date: July 2010



General Manager



Mayor

7.5 Mayoral Minute - Resignation of Mr Bill Gillooly AM from Local Government NSW

Executive Summary

Councillor Keith Rhoades AFSM, President Local Government NSW (LGNSW) has advised of the resignation of Mr Bill Gillooly AM Chief Executive Officer Local Government NSW.

Background Information

Mr Bill Gillooly AM has had a distinguished Public Sector career being Director General of NSW Government Departments and member of various important Government Boards. Mr Gillooly has been Chief Executive of LGNSW for just over ten years and has agreed to remain in the position until a new Chief Executive is appointed.

Legislative or Policy Implications

Nil.

Budget & Financial Aspects

Nil.

Recommendation

1. That the information be received and noted.
2. That a letter of appreciation be forwarded to Mr Bill Gillooly AM acknowledging his service to Local Government NSW as Chief Executive Officer.

Attachments

Nil.



General Manager



Mayor

8 COUNCILLORS' REPORTS

9 INWARDS CORRESPONDENCE

9.1 (ICR) - Letters of Appreciation

Executive Summary

During the exercise of its various functions, Council frequently receives letters of appreciation for services rendered or actions taken by Councillors and staff. The most recently received are from Rebeckah Auld and CTC@Trundle.

Background Information

Nil.

Legislative or Policy Implications

Nil.

Recommendation

1. That the information be received and noted.

Attachments

1. Correspondence from Rebeckah Auld
2. Correspondence from CTC@Trundle



General Manager



Mayor

27th March, 2014

Mr Brad Byrnes
Manager of Governance & Corporate Planning
P.O. Box 337
Parkes NSW 2870

Dear Mr. Byrnes,

Re: Request for Financial Assistance – YMCA's NSW Youth Parliament

I am writing to thank the Parkes Shire Council for your generous support that will assist me to attend the YMCA NSW Youth Parliament 2014. The money will help pay for some of my expenses, and for that I am extremely grateful.

Without sponsors, such as the Parkes Shire Council, the YMCA NSW Youth Parliament would be unable to operate. The YMCA Sydney would also like to extend their gratitude.

I would be very happy to present at a meeting of Council at the conclusion of the program to explain the overall outcomes, and the skills I will have individually learnt during the program. I will be in touch with you again to arrange for a time following the final sitting of the YMCA NSW Youth Parliament in July, 2014.

In the meantime, I hope to represent the Parkes Shire and the youth of New South Wales well at this year's NSW Youth Parliament.

Thanking you again for your support

Kind Regards,

Rebeckah Auld



General Manager



Mayor



ABN: 45 980 587 345
Address: Cnr Forbes & East St
TRUNDLE NSW 2875
Telephone: 02 68921430
Facsimile: 02 68921569
trundctc@westserv.net.au

25th March 2014

Mrs Deanna Kearney
Parkes Shire Library
2 Cecile Street
PARKES NSW 2870

Dear Deanna

Thank you for your attendance at our Seniors Week event at the CTC@Trundle on Friday the 21st March 2014.

Your family history presentation was greatly informative, very well presented and of much interest to our attendees.

We thank you for taking time out of your busy schedule, and look forward to more information sessions like this one!

Yours sincerely

Sally Capell
CTC@Trundle

A handwritten signature in black ink, appearing to be "Sally Capell".

General Manager

A handwritten signature in black ink, appearing to be "Ken Keith".

Mayor

10 GENERAL MANAGER'S REPORT

10.1 (GM) Application for Union Picnic Day 2014

Executive Summary

The Parkes Branch of the United Services Union has applied for Monday 22 September 2014 to be allocated as the annual Union Picnic Holiday.

Background Information

The Local Government Employees State Award provides for the allocation of an annual Picnic Holiday, to be taken by agreement with the Union and Council. Council staff who are members of the Union are entitled to this holiday and those wishing to take this day will be allowed to do so.

Legislative, Policy & Management Planning Implications

Local Government Employees State Award.

Budget & Financial Aspects

The financial cost associated with the holiday is provided for in the annual wages budget.

Recommendation

1. That Monday 22 September 2014 be approved as the annual Union Picnic Holiday as requested by the Parkes Branch of the United Services Union.

Report

The Parkes Branch of the United Services Union has applied for Monday 22 September 2014 to be allocated as the annual Union Picnic Day Holiday for their members. The Union Picnic Day shall be on such day as is agreed between the Council and the union.

Normal on-call arrangements will cover all essential services. The Administration building, Henry Parkes Centre and Family Day Care offices will remain open during this time.

Attachments

Nil.



General Manager



Mayor

10.2 (GM) Roads to Recovery Funding

Executive Summary

Advice has been received from Local Government NSW (LGNSW) in regards to delays in the passage of legislation to secure Roads to Recovery (R2R) funding. The advice is contained in the following letter from LGNSW for Councillors information.

Background Information

Council has generally used R2R funds to carry out works that would not be possible under normal circumstances from Council's funds.

Legislative or Policy Implications

Nil.

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to:


8. *Maintain and improve the Shires Assets and Infrastructure*
8.2 *Manage Road Assets*


Predicted positive effect / opportunity for the Delivery Program: *Good*


The opportunity provided by the R2R Program for the improvement of the road network is a key Delivery Plan action.


Predicted negative / challenge to the Delivery Program: *Select Risk Threat Level*

Quadruple Bottom Line

 *Economic* ★★★★★

 *Social* ★★★★★

 *Environmental* ★★★★★

 *Civic Leadership* ★★★★★

Utilisation of R2R Program funding on projects that would otherwise not occur has positive impacts across the Quadruple Bottom Line through gaining additional funding to address environmental and social problems in the road system, showing strong Civic Leadership

Budget & Financial Aspects

Nil.



General Manager



Mayor

Recommendation

1. That the information be received and noted.

Report

Dear Mayor and General Manager

I know a number of you are concerned about the apparent delays in the passage of legislation to secure Roads to Recovery funding until 30th June 2019.

I am writing to let you know that at a late night teleconference involving the President of the Australian Local Government Association, Cr Felicity ann Lewis, and the two Vice Presidents of ALGA, Cr Troy Pickard and myself, the picture has become clearer. Roads to Recovery continues to be supported by both the Government and the Opposition.

Cr Felicity-ann Lewis has now provided the following advice which I thought I should pass on to you:-

" The extension of Roads to Recovery beyond 20 June 2014 to a new end date of 30 June 2019 is just one of the amendments which the Government is seeking to enact in the current Land Transport Infrastructure Amendment Bill which has now passed the House of Representatives. The R2R extension is supported by both the Government and the Opposition and they have both stated that they will pass a Bill which includes the R2R extension. Unfortunately, however, the Opposition and Government disagree with parts of the Bill dealing with other matters and this is creating concern about the passage of the legislation through the Senate in the next few months. ALGA is acutely aware of the issue and is discussing the matter with both Government and Opposition with the objective of ensuring that there is no impact on the R2R extension as a result of disagreement between the parties on other issues. I will keep you informed of developments on this matter and on any action that ALGA may need to take as events unfold in the new few weeks."

I trust that this information is useful.

Yours sincerely

Cr Keith Rhoades AFSM
President
LGNSW.ORG.AU

Attachments

Nil.



General Manager



Mayor

11 DIRECTOR TECHNOLOGY AND CORPORATE SERVICES REPORT

11.1 (DTCS) Financial Information as at 31 March 2014

Executive Summary

A regular report is provided to Council in relation to a number of financial indicators, including investments, total monthly repayments, receipting and collection of rate revenue.

Background Information

The supply of financial information on a regular basis fulfils statutory requirements and ensures prudent financial management.

Legislative, Policy & Management Planning Implications

Local Government Act, 1993

Local Government (Financial Management) Regulation, 1999

Budget & Financial Aspects

Nil

Recommendation

1. That the report detailing accounts paid, rate revenue collected, receipts received and the bank reconciliation to 31 March 2014 be received and noted.



General Manager



Mayor

Report

1. Accounts

The accounts cover the period 04/03/2014 to 31/03/2014:

Payment	From	To	Sub Total
Combined A/C	E038753	127202	\$7,732,006.10
Cheques and Deskbank			-
Salaries & Wages	04/03/2014	31/03/2014	\$ 863,139.37
TOTAL			\$8,595,145.47

2. Revenue Statement due to 31 March 2014

A copy of the Revenue Statement due to 31 March 2014 is attached.

3. Statement of Receipts - 3 March to 31 March 2014

A Statement of Receipts for the period 3 March to 31 March 2014 is attached.

4. Bank Reconciliation as at 31 March 2014

The bank reconciliation for the month of March 2014 has been finalised and is submitted for the information of Council.

The reconciliation of the Cash Books of the Council and the Bank Accounts has been carried out. The accounts have been reconciled with a balance of \$243,786.97 as at 31 March 2014.

Attachments

1. Rates Revenue Statement
2. Statement of Receipts



General Manager



Mayor

PARKES SHIRE COUNCIL
REVENUE STATEMENT RATES AND CHARGES DUE TO 31 MARCH 2014

	AMOUNT PAYABLE 1/7/2013	COLLECTIONS	AMOUNT DUE 31/3/2014	%COLLECTED THIS YEAR	3 Year Average %
COMBINED RATES	13,625,604	10,328,728	3,296,876	75.80%	77.30%
GARBAGE & OTHER SERVICE CHARGES	1,941,833	1,460,204	481,630	75.20%	76.41%
SUB TOTAL	15,567,438	11,788,932	3,778,506	75.73%	77.18%
WATER, SEWER & TRADE WASTE CONSUMPTION ARREARS & ACCOUNTS 2013/14					
<u>See Note Below</u>					
WATER	3,671,576	2,178,862	1,492,714	59.34%	63.16%
SEWER USAGE	284,583	183,991	100,592	64.65%	70.25%
TRADE WASTE	63,443	40,551	22,893	63.92%	65.93%
SUB TOTAL	4,019,603	2,403,404	1,616,199	59.79%	63.78%
INTEREST, EXTRA CHARGES & LEGAL COSTS					
INTEREST, EXTRA CHARGES & LEGAL COSTS	137,327	96,250	41,077	70.09%	77.36%
SUB TOTAL	137,327	96,250	41,077	70.09%	77.36%
TOTAL	19,724,367	14,288,586	5,435,781	72.44%	74.84%

Note: Water, Sewer & Trade Waste Usage Accounts raised in March, but not due and payable until 29 April 2014.



General Manager



Mayor



Parkes Shire Council
Local Government Management System

Receipt Summary

For the period from 3-Mar-2014 to 31-Mar-2014

GL Account	Description	Total Transactions	Amount
0110-1201-0000	Section 603 Certificate	33	2,310.00
0110-1402-0001	Sundry Income - GST Free	18	1,961.50
0110-1409-0000	Sales of IT Hardware	1	120.00
0110-3002-0000	Bank Reconciliation Suspense	1	130.00
0110-3100-0000	Investments	3	3,476,500.00
0110-3200-0001	Rates Receivable - Consolidated	3,725	672,548.50
0110-3232-0001	Miscellaneous Debtors - Consolidated	118	956,967.36
0110-3238-0000	Sundry Debtor - Avdata	1	238.82
0110-3291-0000	S/Dr - Jardines Insurance Claims	1	4,664.00
0110-5005-0000	Building Construction LS Levy	4	2,627.50
0110-5007-0000	DA (Strategic Fee)	9	1,923.00
0110-5140-0000	S'Cr RMS RMCC Payments	1	662,567.15
0110-5147-0000	Regional Flood Damage Mar '12	1	22,000.00
0110-5700-0000	ELE - Long Service Leave	1	1,037.21
0120-1402-0003	Sundry Income	3	1,066.78
0130-1524-0000	Existing Worker Traineeship	3	4,500.00
0140-1351-0000	Interest on Investments	6	93,490.88
0199-2084-0000	Investments Loss (Gain) on Sale	1	55,006.15
0199-4505-0000	Sales Clearing Account	7	105,950.00
0230-1207-0001	Dog Impounding - Deposits/Release	10	432.00
0230-5008-0000	Dog Rego - Companion Animals Suspen	17	1,796.00
0230-5009-0000	Microchipping Suspense	4	248.00
0240-1458-0000	Animal Infringements - OSR	1	60.00
0240-1459-0000	Traffic Infringements - OSR	2	2,949.00
0270-1532-0001	Salary/Oncosts - GST Free	1	3,505.25
0270-1532-0002	Program costs - GST recoverable	1	742.50
0310-1402-0003	Sundry Income - Inc Copying/Scanning	8	298.00
0410-1507-0000	Operational Grant	12	11,545.05
0410-1508-0000	Childcare Benefit Grant	7	49,108.74
0410-1510-0000	Educator Admin Levies	5	1,013.00
0410-1538-0000	FDC - Educator Registration	5	80.00
0410-1542-0000	RTAG - FDC Transport Assistance	1	2,856.12
0410-1543-0000	D Sups Payments (ISS)	4	114.51
0410-1744-0000	FDC - Playgroup Fees	4	138.00
0430-1511-0000	Grant - Youth Week	1	825.00
0520-1211-0011	Development Fees	22	12,648.80
0520-1211-0012	DA Advertising Fee	2	1,600.00
0520-1213-0000	Section 149 Certificates	57	3,237.00
0540-1101-0000	Other Waste Building	1	145.00
0570-1214-0000	Septic Tank Fees (Applications)	2	265.00
0580-1215-0015	Parkes Cemetery	4	894.00
0580-1215-0016	Parkes Lawn Cemetery	3	5,655.00
0580-1215-0017	Villages Cemetery	4	661.00
0610-1125-0000	Water Standpipe Sales	16	4,395.92
0610-1231-0000	Water Meter Reading Fee	21	882.00
0610-1402-0003	Sundry Income	6	1,154.00
0610-1807-0000	Developer Charges - Sec 64	1	10,960.00

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General Manager

Mayor

Receipt Summary

For the period from 3-Mar-2014 to 31-Mar-2014

GL Account	Description	Total Transactions	Amount
0610-2084-0000	Investments Loss (Gain) on Sale	1	61,881.94
0610-5327-0000	Deposit - Standpipe Access Cards	2	40.00
0710-1251-0000	Sewer Plan Fees	26	936.00
0710-1252-0000	Sewer Inspection Fee	4	316.00
0710-1402-0003	Sundry Income - GST Inclusive	4	76.00
0710-1807-0000	Developer Charges - Sec 64	1	3,245.00
0710-2084-0000	Investments Loss (Gain) on Sale	1	20,627.32
0810-1220-0020	Use of Mult-Media Computer	13	762.50
0810-1220-0021	Facsimile Sales	4	75.20
0810-1220-0022	Lost Books	2	62.70
0810-1220-0023	Photocopying/Printing - Parkes	3	4.50
0810-1220-0026	Inter Library Loans	2	8.80
0810-1220-0027	Lost Library Cards	4	18.20
0810-1220-0030	Sale of Library Bags	3	11.80
0810-1402-0003	Sundry Income - GST Inclusive	1	1.40
0820-1446-0004	HPC - Admissions	52	5,904.15
0860-1255-0000	Parkes Admissions	29	2,897.00
0860-1257-0000	Peak Hill Admissions	20	940.20
0860-1259-0000	Trundle Admissions	1	911.90
0860-1261-0000	Tullamore Admissions	1	80.80
0870-1825-0000	Cont - Parkes Junior Cricket Assoc	1	9,500.00
0870-1837-0000	Contribution-Trundle Sports Council	1	5,000.00
0880-1402-0003	P&G Sundry Income	1	150.00
0880-1804-0000	Sec 94 Cont - Open Space	1	384.00
1010-1217-0000	Sec 68 Approval	1	86.00
1010-1234-0001	Compliance Certificates	3	290.00
1010-1235-0000	Construction Certificate	10	4,278.20
1010-1236-0000	Complying Development Certificate	5	2,250.00
1010-1237-0000	Inspection Fee	14	6,358.00
1010-1238-0000	Occupation Certificate	6	425.00
1010-1240-0000	Sec 735A & 12ZP Notices	18	2,250.00
1010-1266-0000	Drafting Fee	4	480.00
1010-1408-0000	Long Service Leave Commission	1	79.20
1131-1635-0000	Roads to Recovery (Capital)	1	252,640.00
1150-1242-0000	Landing Fees	2	1,663.88
1150-6808-0000	Loan No. 8 - Airport Refurbishment	1	1,000,000.00
1220-1243-0042	Caravan Sites - 5.5% Adjust	5	1,288.68
1220-1243-0043	Caravan Sites - Fees	25	9,926.36
1220-1243-0045	Caravan Sites - Electricity	25	1,277.14
1220-1244-0044	Cabin Fees - Fees	17	5,409.76
1220-1244-0046	Cabin Fees - Electricity	17	319.56
1220-1247-0000	Multi Coin Washing Machine	1	38.00
1230-1356-0002	Open Cut Experience - Admission Fees	1	82.15
1230-1445-0001	Visitor Info Ctr - Merchandise Sales	25	415.25
1230-1445-0003	Visitor Info Ctr - Merchandise Sales	45	2,983.74
1230-5400-0003	Merchandise on Consignment - T/Ctr	21	396.00
1295-1594-0000	Op. Contributions - Elvis Festival	1	250,000.00
		4,586	7,840,590.07

Report Printed on 1/04/2014 at 10:00:54AM

Page 2 of 2



General Manager



Mayor

11.2 (DTCS) Investments as at 31 March 2014

Executive Summary

The carrying value of Council's investments at 31 March 2014 was \$ 62,275,120.

Background Information

In accordance with Clause 212 of the Local Government (General) Regulation 2005, the following details are provided of Council's investments under Section 625 of the Local Government Act, 1993.

The carrying values of the investments outlined in this report have been those advised to Council by the arrangers, brokers or custodian of those securities.

Legislative, Policy & Management Planning Implications

- Parkes Shire Council Investment Policy, Clause 212 of the Local Government (General) Regulation 2005 and Section 625 of the Local Government Act, 1993.
- DLG Circular 10-11 - Investment Policy Guidelines
- DLG Circular 11-01 Ministerial Investment Order

Budget & Financial Aspects

All returns on investments are included in Council's Operating Budget. Any amendment to budgeted interest income is effected through the Quarterly Budget Review process. Both the average level of funds invested and the rate of return determine returns.

In accordance with the Australian equivalent of International Accounting Standards, securities that are classified as held for trading are required to be valued at market value at each balance date. The balance of investments held includes market values that existed at the 31 March 2014. The custodians of the securities provide these valuations to Council. The custodians of Council's structured investments are the Westpac and ANZ Banks.

Investments in the form of cash or cash equivalents and held to maturity investments are valued at cost.

Floating Rate Notes acquired on the secondary market are valued at cost. Where the purchase consideration is different to face value the resulting premium or discount are amortised on a straight line basis over the life of the Note.

Recommendation

1. That the information in relation to investments held at 31 March 2014 be received and noted.



General Manager



Mayor

Report

The following securities held are currently rated less than the minimum required under the Ministerial Investment Order. Council is permitted to hold the securities under the grandfathering clause in the Ministerial Investment order dated 12 January 2011.

- Hickory Note CDO currently rated CCC-
- Parkes CDO currently not rated

Investment Rates as at 31 March 2014

Rate Range %	\$
2.50 to 4.00	48,410,800
4.01 to 6.00	13,864,320
Total	62,275,120

The weighted average interest rate of the investment portfolio as at 31 March 2014 is 3.80% (3.79 % - 28 February 2014).

90-Day (Benchmark) Bank Bill Swap Rate as at 31 March 2014 – 2.695 %

Credit Quality Targets and Limits

The maximum holding limit in each rating category and the target credit quality weighting for Council's Term Deposit portfolio as at 31 March 2014 is as follows:

<i>Long Term Rating Range</i>	<i>Short Term Credit Range</i>	<i>Maximum Holding</i>	<i>% Holding as at 31 March 2014</i>	<i>\$ Holding as at 31 March 2014</i>
<i>AAA Category</i>	<i>A-1+</i>	<i>100%</i>	<i>-</i>	<i>\$ -</i>
<i>AA Category</i>	<i>A-2</i>	<i>80%</i>	<i>60.00 %</i>	<i>\$ 38,951,000</i>
<i>A Category</i>	<i>A-2</i>	<i>60%</i>	<i>21.18 %</i>	<i>\$ 13,750,000</i>
<i>BBB Category & Unrated ADI's</i>	<i>A-3</i>	<i>40%</i>	<i>8.78 %</i>	<i>\$ 5,700,000</i>



General Manager



Mayor

The maximum exposure to each counterparty / financial institution will be restricted by their rating so single entity exposure is limited. These limits with respect to Council's current Term Deposit portfolio are listed as follows:

Financial Institution	Long-Term Rating Range	Short-Term Credit Range	Limit	% Holding as at 31 March 2014
National Australia Bank	AA-	A1+	40%	37.24 %
Anz	AA-	A1+	40%	1.71 %
Westpac	AA-	A1+	40%	13.70 %
Commonwealth	AA-	A1+	40%	5.91 %
ING	A-	A1	30%	20.12 %
Rabobank Direct	Aa2 Moody's	P-1 Moody's	40%	8.13 %
Central West Credit Union	Unrated	Unrated	20%	1.71 %
ME Bank	BBB	A2	20%	8.05 %
Bank of Queensland	BBB+	A2	20%	3.43 %

The holdings of Floating Rate Notes and Bonds, and trading securities, are listed as follows:

Description	Face Value	Carrying Value	% Holding as at 31 March 2014
Floating Rate Notes	\$ 1,520,000	\$ 1,520,000	2.34 %
Trading Securities	\$ 5,000,000	\$ 2,354,120	7.70 %

Summary

The Board of the Reserve Bank of Australia (RBA) at their last meeting of 1 April 2014 decided to leave the cash rate unchanged at 2.5 per cent. The 90 day Bank Bill Swap Rate (BBSW) closed the month at 2.695%. The Australian dollar gained strongly against the USD in March, buying 0.9264 USD at month end, a gain of 3.4 cents.

Monetary policy remains accommodative. The reserve bank expects growth to strengthen, assisted by continued low interest rates and the lower exchange rates. The RBA board noted, "that the decline in the exchange rate from its highs a year ago will assist in achieving balanced growth in the economy, but less so than previously as a result of the rise over the past few months. The exchange rate remains high by historical standards."

Inflation is expected to be consistent with the 2-3 per cent target over the next two years. The Board still considers that the current setting of monetary policy should foster sustainable growth in demand and inflation outcomes to be consistent within the target range. They regard the most prudent course is likely to be a period of stability in interest rates.

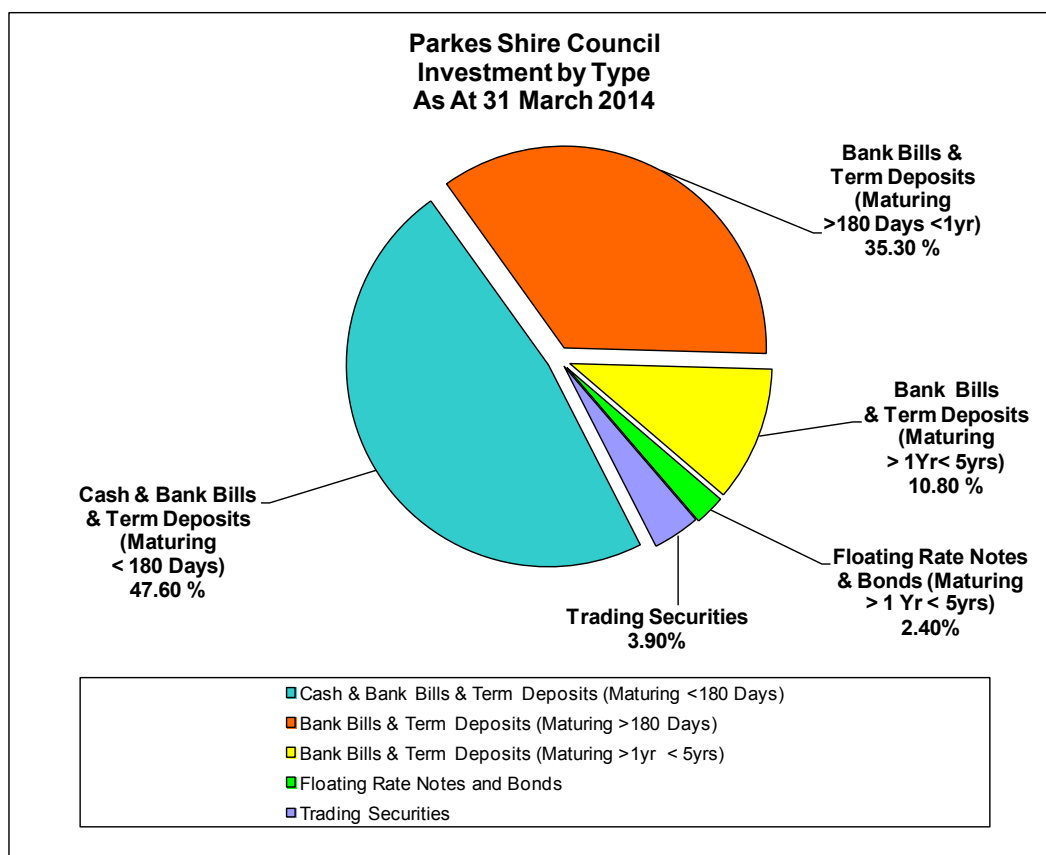


General Manager



Mayor

The following graphic displays the percentages of the portfolio by investment type with an aged breakdown of the Cash, Bank Bills & Term Deposits.



The movement in Investments for the month of March 2014 were as follows:

Opening Balance as at 28 February 2014	\$ 59,089,620
<u>Plus</u> New Investments – March 2014	\$ 6,400,000
<u>Less</u> Investments redeemed - March 2014	(\$ 3,476,500)
<u>Plus</u> Increase in CDO Valuations – February (Kakadu) - March 2014	\$ 262,000
<u>Closing Balance as at 31 March 2014</u>	<u>\$ 62,275,120</u>

General Manager

Mayor

The latest valuations of the market value for the CDO's with Lehman Brothers and Westpac have resulted in an increase in the Fair Value of the CDO's by \$ 262,000 as at 31 March 2014. Councillors would be aware that valuations fluctuate significantly each month due to the volatility of the market surrounding CDO's. This is represented by the following investment adjustments:

CDO Name	Fair Value Adjustment
Averon 2	\$ 7,400
Kakadu (Feb 2014)	\$ 254,600
Hickory	\$ 0

There was no credit events announced in March 2014 for CDO's remaining within Council's investment portfolio. The Lehman Brothers - Parkes CDO is reporting a nil value, and is still itemised on the Investment register as at this stage, it has not been officially terminated. The Lehman Brothers - Kakadu CDO matured on 20 March 2014 and council received 91.40 percent return upon its maturity. The capital value received was \$914,015.41, and the general fund share of the gain upon its maturity was calculated as follows:

Calculation of Gain at Maturity of Lehmann Brothers – Kakadu CDO

Capital Value Received 20 March 2014	\$ 914,015.41
<u>Less Latest Book Valuation as at 28 February 2014</u>	<u>\$ 776,500.00</u>

Profit & Loss on Maturity of Kakadu CDO	\$ 137,515.41
---	---------------

General Fund Share @ 40% Profit Recognised on Maturity	\$ 55,006.16
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Kakadu's maturity enabled reserves of \$ 208,760 which were held to offset the possible default of this investment to become un-tied and available to cash back another program.

Certification - Responsible Accounting Officer

The Director Technology & Corporate Services hereby certifies that the investments listed in the Investment Summary have been made in accordance with Section 625 of the Local Government Act, 1993, Clause 212 of the Local Government (General) Regulation 2005 and Council's Investment Policy.

Attachments

1. List of Investments held at 31 March 2014. Indicative Breakdown of Investments per Fund as at 31 March 2014.



General Manager



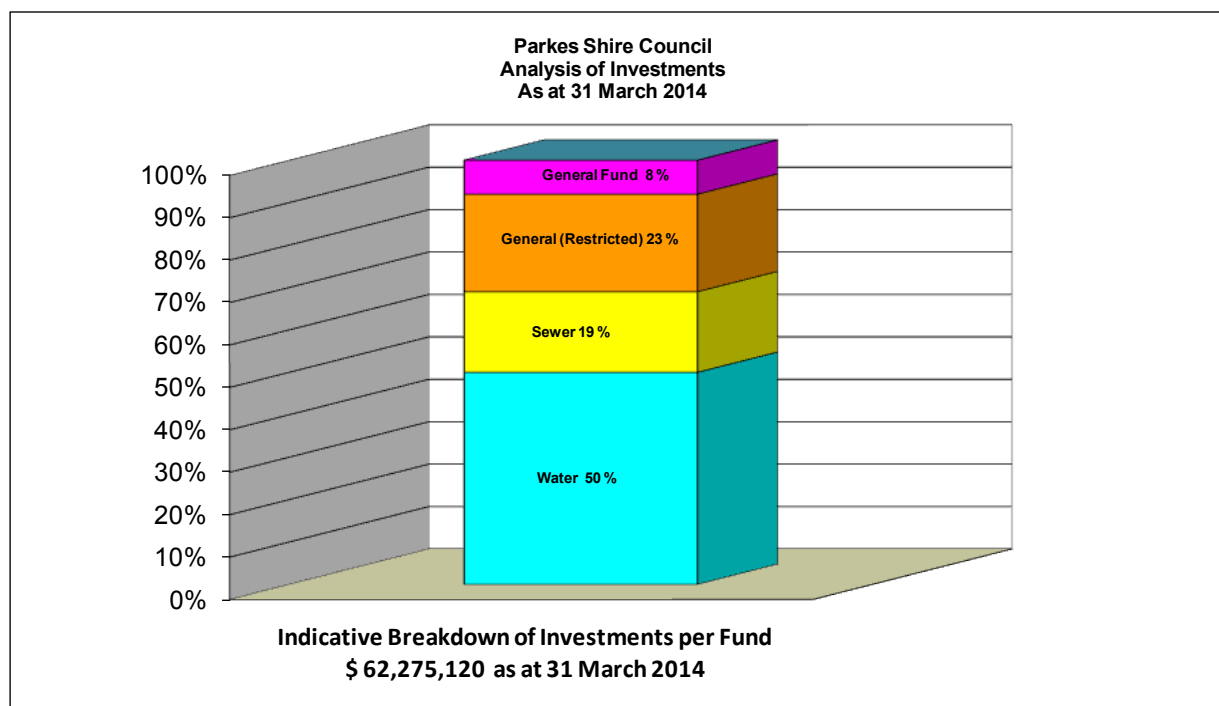
Mayor

Investments Summary 31/03/2014

Name	Ref	Face Value \$	Current Rate %	Expected Maturity	Maturity Profile from Summary Date	Carrying Value \$	Investment Type
Westpac Maxi-Direct General	1091	2,251,000	2.50	At Call	At Call	2,251,000	At Call Deposit
ING	1838	1,000,000	4.20	02-04-14	< 90 Days<1yr	1,000,000	Term Deposit
CWCU	1820	1,000,000	4.40	12-04-14	< 90 Days<1yr	1,000,000	Term Deposit
ING Bank	1858	1,000,000	3.51	22-04-14	< 90 Days<1yr	1,000,000	Term Deposit
ME Bank	1871	700,000	3.63	01-05-14	< 90 Days<1yr	700,000	Term Deposit
NAB	1863	1,000,000	3.79	06-05-14	< 90 Days<1yr	1,000,000	Term Deposit
NAB	1865	1,000,000	3.80	12-05-14	< 90 Days<1yr	1,000,000	Term Deposit
NAB	1867	1,000,000	3.72	19-05-14	< 90 Days<1yr	1,000,000	Term Deposit
NAB	1885	1,000,000	3.66	02-06-14	< 90 Days<1yr	1,000,000	Term Deposit
NAB	1850	1,000,000	3.93	03-06-14	< 90 Days<1yr	1,000,000	Term Deposit
CBA	1833	1,500,000	4.25	06-06-14	< 90 Days<1yr	1,500,000	Term Deposit
NAB	1857	2,000,000	3.83	17-07-14	> 90 Days<1yr	2,000,000	Term Deposit
ING Bank	1877	1,000,000	3.59	28-07-14	> 90 Days<1yr	1,000,000	Term Deposit
NAB	1880	2,000,000	3.80	05-08-14	> 90 Days<1yr	2,000,000	Term Deposit
NAB	1864	1,000,000	3.80	08-08-14	> 90 Days<1yr	1,000,000	Term Deposit
Bank of Queensland	1866	1,000,000	3.76	12-08-14	> 90 Days<1yr	1,000,000	Term Deposit
NAB	1868	1,000,000	3.79	18-08-14	> 90 Days<1yr	1,000,000	Term Deposit
NAB	1869	1,000,000	3.79	18-08-14	> 90 Days<1yr	1,000,000	Term Deposit
NAB	1846	1,000,000	3.85	26-08-14	> 90 Days<1yr	1,000,000	Term Deposit
Commonwealth Bank	1847	1,950,000	3.70	27-08-14	> 90 Days<1yr	1,950,000	Term Deposit
NAB	1872	1,000,000	3.79	01-09-14	> 90 Days<1yr	1,000,000	Term Deposit
NAB	1873	1,250,000	3.81	05-09-14	> 90 Days<1yr	1,250,000	Term Deposit
NAB	1851	1,000,000	4.01	12-09-14	> 90 Days<1yr	1,000,000	Term Deposit
Westpac Bank	1888	1,000,000	3.60	17-09-14	> 90 Days<1yr	1,000,000	Term Deposit
Westpac	1853	1,000,000	3.65	18-09-14	> 90 Days<1yr	1,000,000	Term Deposit
Bank of Queensland	1855	1,000,000	3.78	08-10-14	> 90 Days<1yr	1,000,000	Term Deposit
ANZ	1856	1,000,000	3.60	17-10-14	> 90 Days<1yr	1,000,000	Term Deposit
NAB	1859	1,000,000	3.85	28-10-14	> 90 Days<1yr	1,000,000	Term Deposit
Westpac	1862	750,000	3.90	31-10-14	> 90 Days<1yr	750,000	Term Deposit
ING Bank	1883	1,500,000	3.80	20-11-14	> 90 Days<1yr	1,500,000	Term Deposit
NAB	1870	1,500,000	3.85	26-11-14	> 90 Days<1yr	1,500,000	Term Deposit
ME Bank	1874	2,000,000	3.83	06-01-15	> 90 Days<1yr	2,000,000	Term Deposit
ING Bank	1875	1,000,000	3.80	07-01-15	> 90 Days<1yr	1,000,000	Term Deposit
ING Bank	1876	1,250,000	3.76	13-01-15	> 90 Days<1yr	1,250,000	Term Deposit
ING Bank	1878	750,000	3.66	30-01-15	> 90 Days<1yr	750,000	Term Deposit
ING Bank	1879	2,000,000	3.73	05-02-15	> 90 Days<1yr	2,000,000	Term Deposit
Rabobank Direct	1844	1,000,000	4.06	13-02-15	> 90 Days<1yr	1,000,000	Term Deposit
ING Bank	1882	1,000,000	3.80	24-02-15	> 90 Days<1yr	1,000,000	Term Deposit
NAB	1884	1,000,000	3.84	25-02-15	> 90 Days<1yr	1,000,000	Term Deposit
Rabobank Direct	1849	1,000,000	3.96	12-03-15	> 90 Days<1yr	1,000,000	Term Deposit
Rabobank Direct	1744	1,000,000	6.00	16-03-15	> 90 Days<1yr	1,000,000	Term Deposit
ME Bank	1886	2,000,000	3.85	17-03-15	> 90 Days<1yr	2,000,000	Term Deposit
ING Bank	1889	1,250,000	3.76	31-03-15	> 90 Days<1yr	1,250,000	Term Deposit
Westpac Bank	1840	1,000,000	4.25	24-07-15	>1yr<5yrs	1,000,000	Term Deposit
Rabobank Direct	1854	1,000,000	4.06	30-07-15	>1yr<5yrs	1,000,000	Term Deposit
NAB	1845	1,000,000	4.32	22-08-15	>1yr<5yrs	1,000,000	Term Deposit
Westpac Bank	1843	2,000,000	4.20	07-09-15	>1yr<5yrs	2,000,000	Term Deposit
Rabobank Direct	1887	750,000	3.95	18-01-16	>1yr<5yrs	750,000	Term Deposit
NAB	1881	1,000,000	4.20	22-02-16	>1yr<5yrs	1,000,000	Term Deposit
Cash & Term Deposits		58,401,000				58,401,000	
Commonwealth Senior - FRN	1362	1,020,000	3.6300	24-12-15	>1yr<5yrs	1,020,000	Held to Maturity
Bendigo and Adelaide Bank Limited	1363	500,000	3.7817	17-05-17	>1yr<5yrs	500,000	Held to Maturity
Floating Rate Notes and Bonds		1,520,000				1,520,000	
ANZ - Averon 2 CPP Note - Principal Protected	1850	1,000,000	0.0000	20-06-14	> 90 Days<1yr	989,800	Tradeable Security
Lehman - Parkes	1390	2,000,000	0.0000	20-06-15	>1yr<5yrs	0	Tradeable Security
Westpac - Hickory Trust Notes	1356	2,000,000	4.4633	21-06-16	>1yr<5yrs	1,364,320	Tradeable Security
Trading Securities		5,000,000				2,354,120	
Total Investments		64,921,000				62,275,120	

General Manager

Mayor



General Manager

Mayor

11.3 (DTCS) Tourism and Event Update April 2014

Executive Summary

A brief update of general Shire tourism and event activities.

Background Information

Nil.

Legislative or Policy Implications

Nil.

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Plan Future Direction relating to:
4.2 Grow and Diversify the Economic Base: Increase visitation and length of stay across the Parkes Shire.

Predicted positive effect / opportunity for the Delivery Plan: *Excellent*

Predicted negative / challenge to the Delivery Plan: *Low*

Quadruple Bottom Line



Economic ★★★★★



Social ★★★★★



Environmental ★★★★★



Civic Leadership ★★★★★

Budget & Financial Aspects

Nil.

Recommendation

That the Tourism and Event Update be received and noted.

General Manager

Mayor

Report

1. 2014-15 Visitor Guide Launch and Distribution

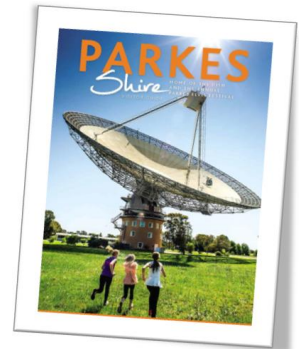
Deputy Mayor, Cr Alan Ward officially unveiled the brand new Visitor Guide for Parkes Shire at the Parkes Visitor Information Centre in the presence of local tourism operators, advertisers and media on Thursday 27 March 2014.



50,000 copies of the brochure have been printed and commenced distribution throughout Visitor Information Centres in NSW, VIC and QLD and other key outlets to build awareness and increase visitation to our Shire.

The brochure details all the necessary information for visitors to Parkes Shire including information on our attractions and events, an accommodation directory, maps, public transport, driving distances and regional touring trails. In addition over thirty tourism operators and associated businesses invested in advertising space in the publication to further enhance their exposure and engage with visitors to the region.

As part of the distribution strategy the brochure is being circulated by Murray Media Distribution to an extensive network of visitor information centre outlets, while on a local level, direct delivery of the guide will include accommodation providers, attractions and key visitor entry and information points throughout the Shire. An e-book version of the guide has also been produced for ease of viewing on line.



Additionally, a direct mail out to all Shire residents of the guide will be implemented in an effort to inform local residents about the local tourism offering, and to increase participation of the visiting friends and relatives (VFR) market at events and attractions. If we can educate the community on our unique selling points and get them to experience what is in their own backyard, we will essentially have over 15,000 tourism ambassadors for Parkes Shire.

2. Wild Rhino Trail - Phase 2 Marketing Campaign Underway

The Wild Rhino Trail has proved a great success to date with the first stage of the marketing campaign being driven by Taronga Zoo due to wind up at the end of the month. Phase 2 of the marketing campaign driven by Dubbo City Council is due to commence with a number of activities planned to further promote the regional partners along the trail featuring Parkes and other major centres including Orange, Bathurst and Cowra.



A dedicated website is currently under construction to promote the regional trail from Taronga Zoo in Sydney to Taronga Western Plain Zoo in Dubbo featuring dedicated landing pages detailing the experiences at each destination along the way.

General Manager

Mayor

As part of the phase 2 marketing campaign, The Wild! Rhino Adventure will also be exhibiting at the 2014 NSW Caravan and Camping Supershow with staffing resources being provided by the regional partners including Parkes Shire.

The Supershow will take place at Rosehill Racecourse from 26 April to 4 May 2014 where over 75,000 visitors are expected attend offering a high level of exposure for the Trail and for Parkes Shire.

Council's Tourism Unit has coordinated tactical offers from local operators to include in marketing collateral that will be handed out to visitors at the Supershow to offer further incentives to travel and explore our region.

The Wild! Rhino campaign is proving a worthwhile investment for Council with thousands of dollars in free publicity being generated for our destination and Elvis the Rockin Rhino. Some of the media generated has included an 8 page spread in Taronga Zoo's magazine and a prominent 2 page spread in Best Weekend insert in the Saturday 22 March edition of the Daily Telegraph featuring an image of Elvis the Rockin Rhino and details about the Parkes Elvis Festival, The Dish and the Henry Parkes Centre.

3. National Visitor Survey Local Area Data Released

Destination NSW has recently released the latest Local Government Area Visitor Data generated from the National Visitor Survey (NVS) commissioned by Tourism Research Australia.

The four year average data to 2013 shows some significant increases for Parkes Shire's domestic overnight visitation and spend based on 2012 data which is shown in the comparison table below:

	2012	2013	% change
Total # domestic overnight visitors	107,000	112,000	+3.7%
Total # domestic visitor nights	273,000	282,000	+3.3%
Average Length of Stay	2.5 nights	2.6 nights	+4.0%
Average Spend per night	\$132	\$139	+5.3%
Total Expenditure	\$36M	\$39M	+8.3%

The data also shows Parkes Shire sees over 123,000 day trip visitors per year resulting in an additional \$17M in visitor spend in the region. This indicates an overall visitor spend for day and overnight visitation of \$56M per annum. An additional \$2M is generated through overnight visitation by the International market who record 39,000 visitor nights per year with an average visitor spend of \$51 per night.



General Manager



Mayor

Considering this information it can be assumed that the following figures for total visitation and visitor spend for Parkes Shire per annum are as follows:

Key Measures	Parkes LGA (p.a.) 4 year average ending 2013
Total # daytrip and overnight visitors	235,000
Total # Visitor Nights	321,000
Total Visitor Spend	\$58M

Key visitor demographics for Parkes Shire include:

- Holiday/Leisure and Visiting Friends and Relatives (VFR) market make up over 80% of visitors to Parkes Shire
- Over 65% of visitors are aged 45 years and over
- 32% of visitors are travelling with children
- 53% of visitors will stay with a VFR and 29% will stay in a motel/hotel accommodation
- 64% of visitors are from within NSW (28% from Sydney region and 37% from regional NSW)
- 17% of visitors are from Victoria
- 85% of visitors travel by private car or company vehicle.

The full report can be viewed on line via www.destinationnsw.com.au

4. Parkes Elvis Festival - Planning Update

The Parkes Elvis Festival will be held from the 7th to 11th January 2015 celebrating Elvis' 80th birthday. The Elvis Theme for 2015 will be Roustabout.

Roustabout is a 1964 American musical feature film starring Elvis Presley as a singer who takes a job working with a struggling carnival. The film's soundtrack album was one of Elvis Presley's most successful, reaching no. 1 on the Billboard Album Chart. The carnival theme provides a great platform for the 80th birthday party celebrations being planned.

The newly formed Parkes Elvis Committee auspiced under Council has held their first meeting on Tuesday 25 March with representation from Elvis Revival Inc, Chamber of Commerce and Council. The committee will be charged with formulating strategies, plans and decision making to ensure the long term growth and sustainability of the Festival which is a huge tourism asset to the community and wider region. Two independent community representatives are to be included on the new committee with submissions now being invited from interested parties which will a skills based selection.

Council's Tourism and Marketing Manager is currently acting in the role of Festival Director while the position is being recruited. Advertising for the position is underway with applications closing 22 April 2014.



General Manager



Mayor

5. Events Update

The annual **Australian Indoor Marbles Championships** were held at the Parkes Golf Club on Friday evening 21st March with 11 teams entered with competitors from as far as Sydney and Brisbane. The event continues to spark the interest of the media with a number of outlets covering the event.

March also saw a high volume of car and bike rally groups descend upon the region including the **Mercedes Club National Rally Tour**, the **Mill 2 Mill Charity Bicycle Ride** and the **Cadillac's Cruisin' Cross the Nullarbor Tour** which included over 150 visitors to Parkes. Information packs were prepared and distributed to these groups by Council's Tourism Unit.

The second annual **Big Ride 4 Parkinson's** fundraiser event was held on Saturday 29 March with over 100 riders who travelled the 360 km journey from Sydney to Parkes. Saturday evening the event was open to the public at the Parkes Showgrounds which included a display by Australia's number 1 stunt bike rider, Dave McKenna and live performance by rocker Angry Anderson. Several accommodation providers were booked out as a result along with increased patronage at local hotel outlets.

The fundraiser was a great success with \$15,000 raised which will all go towards helping raise awareness of Parkinson's disease and improve services for the whole Parkinson's community across NSW. The organisers are already liaising with Council's Event Development Officer to lock in a date to again hold the event around the same time next year.

The 3rd annual **Trundle ABBA Festival** also took place recently on Saturday 5th April. This year the Festival celebrated the 40th anniversary since ABBA won Eurovision with hundreds of visitors attending from far and wide including Broken Hill, Adelaide, Geelong and Sydney. This year organisers added a number of new elements to the program including Street Busking, Market Stalls, and the Fashions of the Festival competition which provided something new for returning visitors and adding to the overall atmosphere of the unique event.

The bi-monthly **Parkes UpMarkets** we held once again in Cooke Park on Sunday 13 April and continue to showcase quality regional products and produce.

Events Coming Up

The annual **Tullamore Irish Festival** will be celebrated over the Easter weekend and is expected to attract increased visitation with headline act and Australian Idol Winner, Damien Leith. Over 500 campers are expected to stay overnight for the event this year and the organising committee are preparing 'Welcome Packs' for these visitors to ensure they experience associated attractions during their visit and return again for future events. Council's Tourism Unit have contributed promotional items for these packs including copies of the new Visitor Guide.



General Manager



Mayor

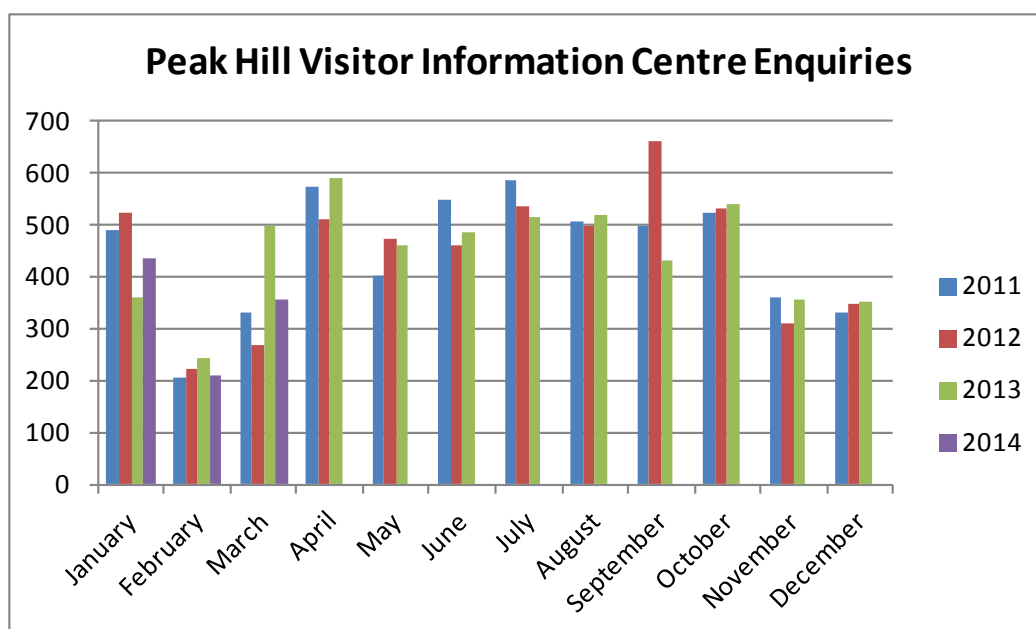
The **Council of Heritage Motor Clubs (CHMC)** will also hold their annual Easter Rally 2014 in Parkes from Friday 18th through to Monday 21st April 2014. The CHMC represents 90 Heritage Motoring Clubs in NSW and 200 cars are expected to participate in the Rally with the vehicles being displayed for the public at the Parkes Racecourse from 9:00am until 1:00pm on Saturday 19th April. The popular **Shannon's 'Super Rig'**, which is an expandable trailer with gaming consoles, touch screens and driving simulators will also be on display at the Racecourse along with a fully restored Goggomobil Dart which accompanies the Rig. The public can inspect these vehicles from Friday 18th (Good Friday) to Monday 21st April. Council's Tourism Unit have assisted organising in distribution of media releases and preparation of 200 welcome packs which include essential visitor information and special offers from local businesses to encourage increased visitor spend.

The **National Morris Club Annual Rally 2014** will also take place over the Easter Weekend with a day-visit to Parkes planned on Easter Sunday 20th April. The vehicles will be on display at the Parkes Visitor Information Centre from around lunch-time onwards. Parkes promotional bags will also be prepared by Tourism staff and distributed to these many visitors as well.

The end of April will see 2014 **ANZAC Day** commemorations including the 99 year anniversary of World War 1 Gallipoli Landing.

6. Peak Hill Visitor Information Centre Numbers

The volunteer managed Peak Hill Visitor Information Centre operated from Peak Hill Country Crafts has provided visitor statistics from 2011 to 2014 for the information of Council. 354 visitors were recorded during the month of March 2014, representing a 14% downturn on the March average.

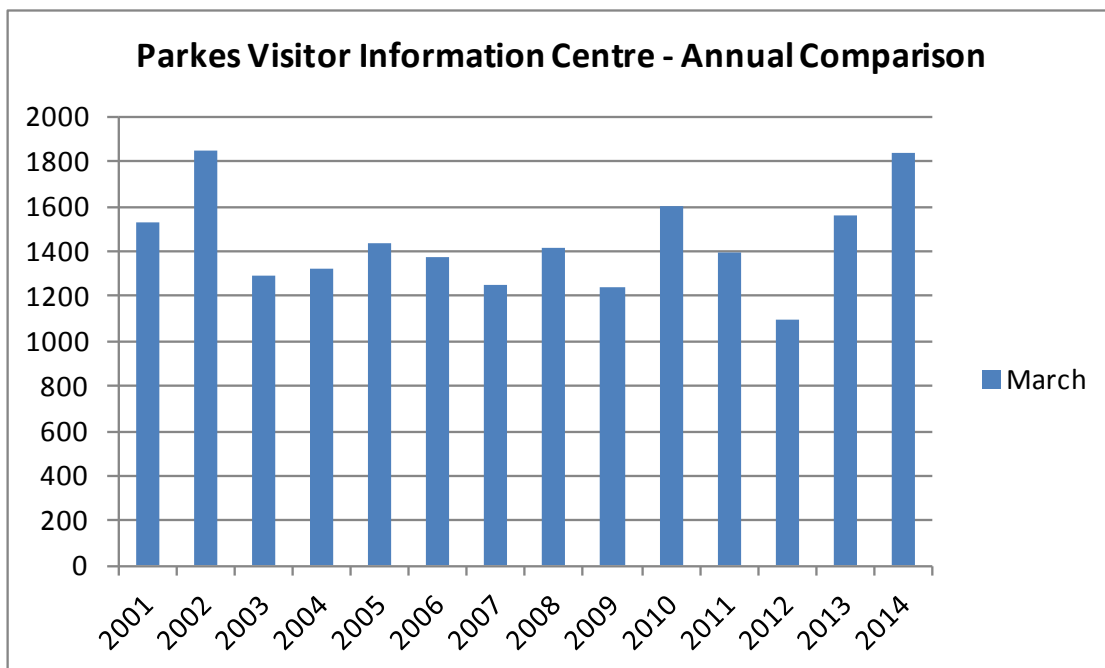
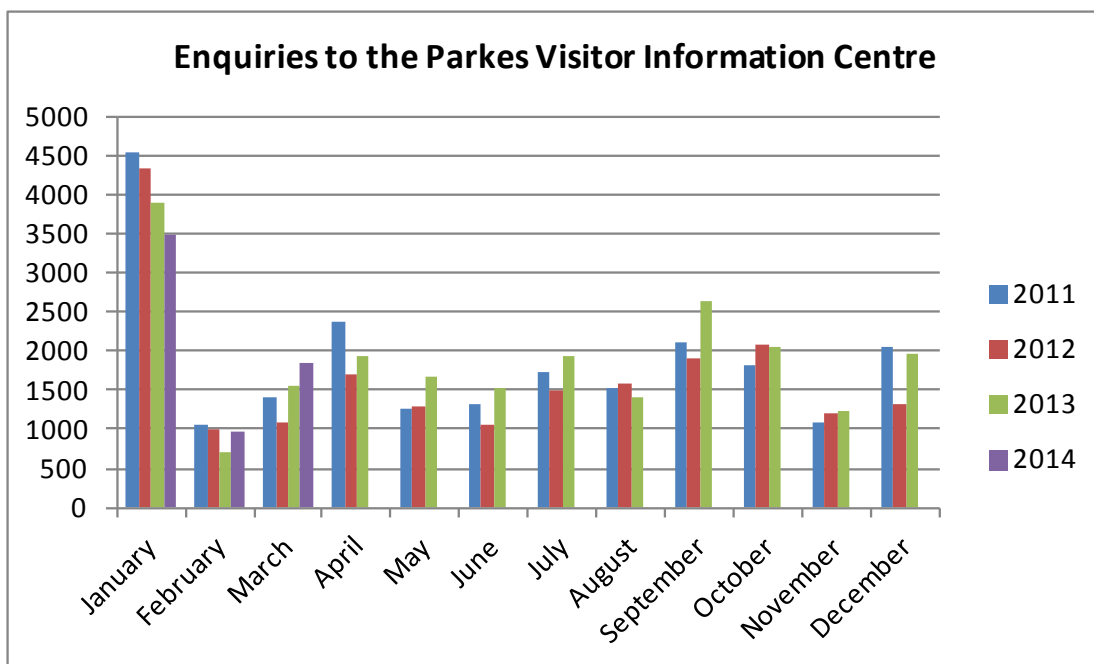


General Manager

Mayor

7. Parkes Visitor Information Centre Numbers

Enquiries to the Council managed Parkes Visitor Information Centre for the month of March 2014 totalled 1839 visitors which represents a significant 25% increase based on the same period in 2013, and a 27% increase on the March average. This substantial increase could be attributed to a high volume of major car rallies and special interest groups visiting Parkes Shire during the month of March.

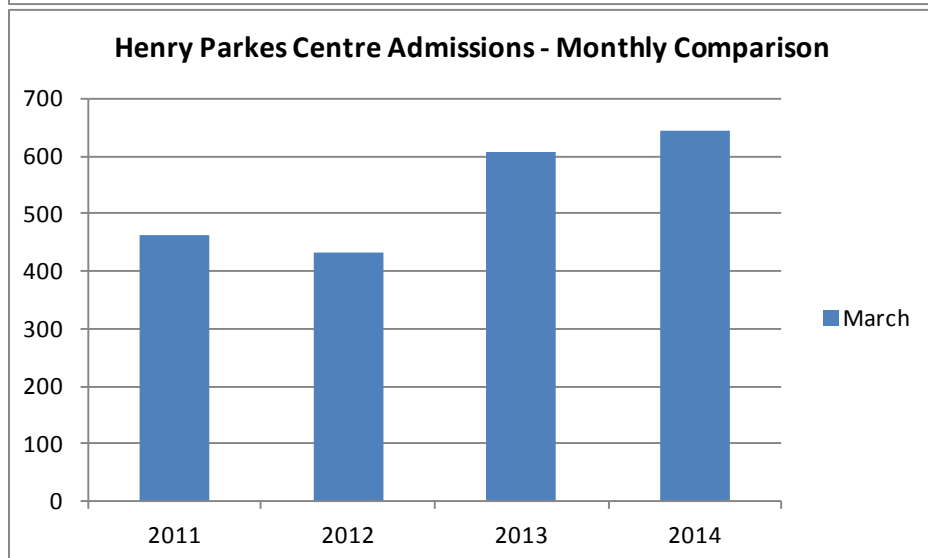
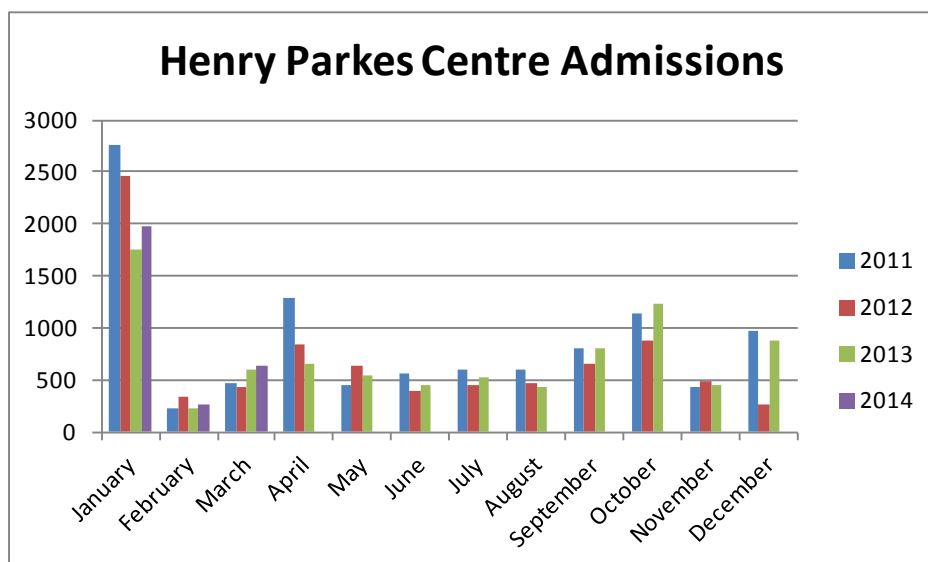


General Manager

Mayor

8. Henry Parkes Centre Visitor Numbers

Results from admissions to the Council managed Henry Parkes Centre for 2011-2013 are provided for the information of Council. Ticketed admissions for the month of March 2014 totalled 643 people. The paid admissions represent a 23% increase on the March average and a 9% increase based on the same period in 2013. The significant increases are a direct result of the increased volume of group bookings and major car rallies visiting the site. The results show a 33% conversion rate from enquiries to the Visitor Information Centre to people actually buying tickets to the museums for the month of March.



Attachments

Nil

General Manager

Mayor

11.4 (DTCS) Library Services Statistics and Monthly Update

Executive Summary

Library usage statistics for the month of March 2014 and recent activities are provided for the information of Council.

Background Information

The statistics are provided to monitor service utilisation levels and to assist with the overall analysis of trends evolving over time. The information covers the areas of volume of items issued, Local History Resource Centre utilisation, visitation numbers and Internet resource usage.

Legislative or Policy Implications

Nil

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to:

1.5.1 Develop Lifelong Learning Opportunities - Provide Lifelong learning opportunities for the community through Parkes Shire Library, and

6.4 Ensure the Library is an ongoing cultural, recreational, learning centre for the community.

Predicted positive effect / opportunity for the Delivery Program: *Excellent*

Parkes Shire Library administration, events and activities are continuing to meet the actions outlined in the Delivery Plan.

Predicted negative / challenge to the Delivery Program: *Negligible*

Quadruple Bottom Line



Economic ★★★★★



Environmental ★★★★★



Social ★★★★★



Civic Leadership ★★★★★

Budget & Financial Aspects

Nil

General Manager

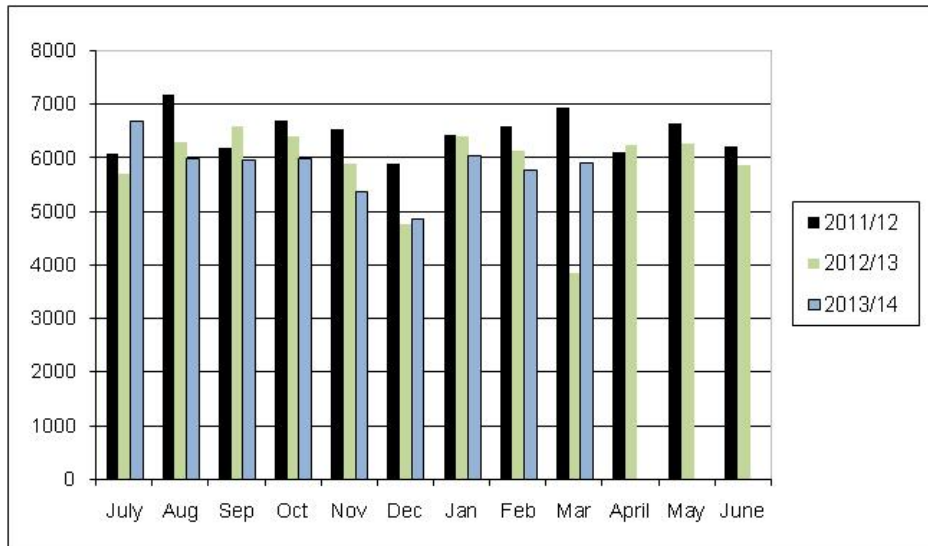
Mayor

Recommendation

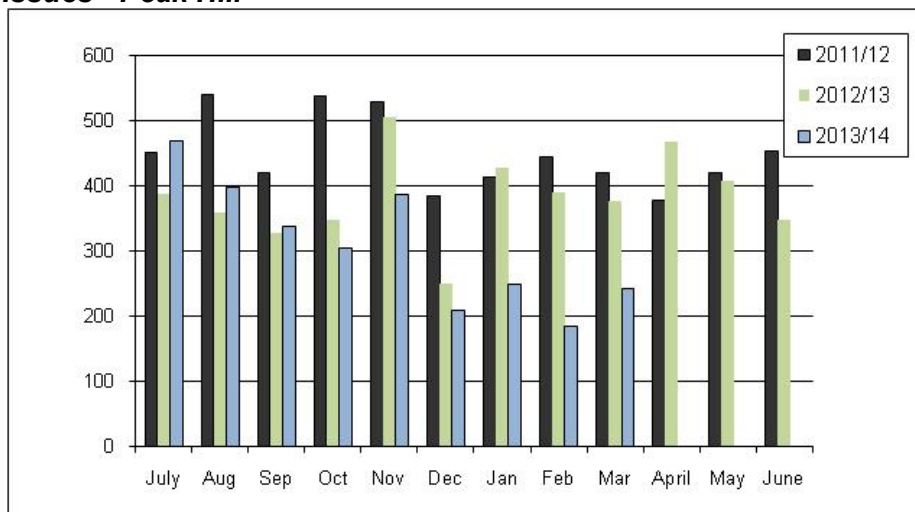
1. That the information be noted.
2. That Councillor/s be nominated to represent Council at the NSW Public Libraries 2014 conference.

Report

Issue - Parkes



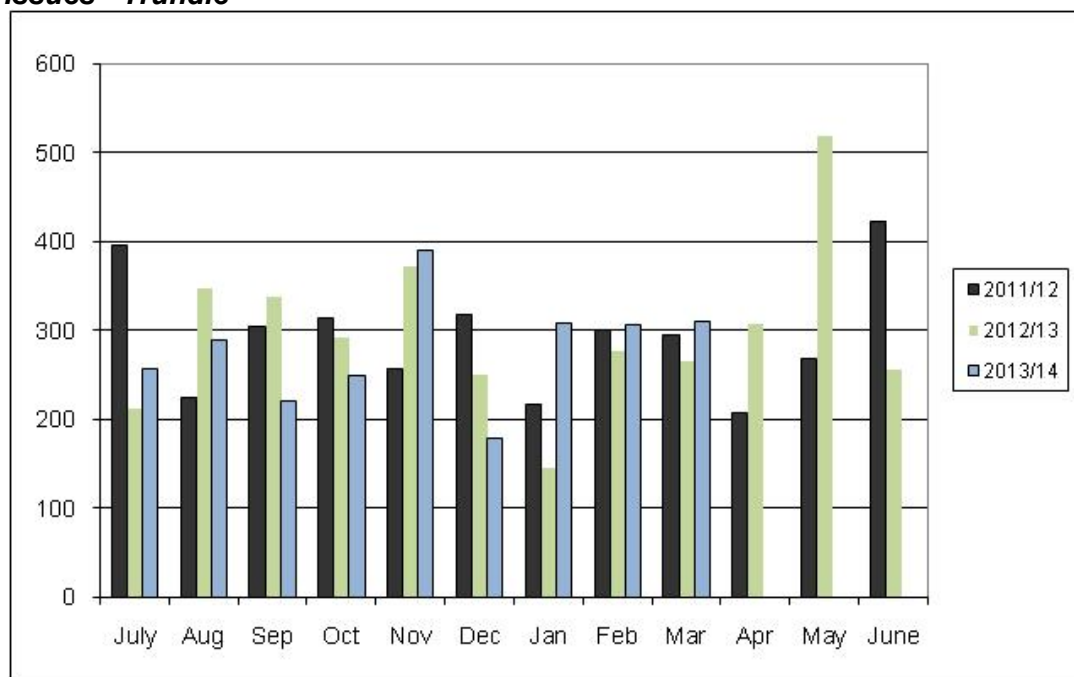
Issues - Peak Hill



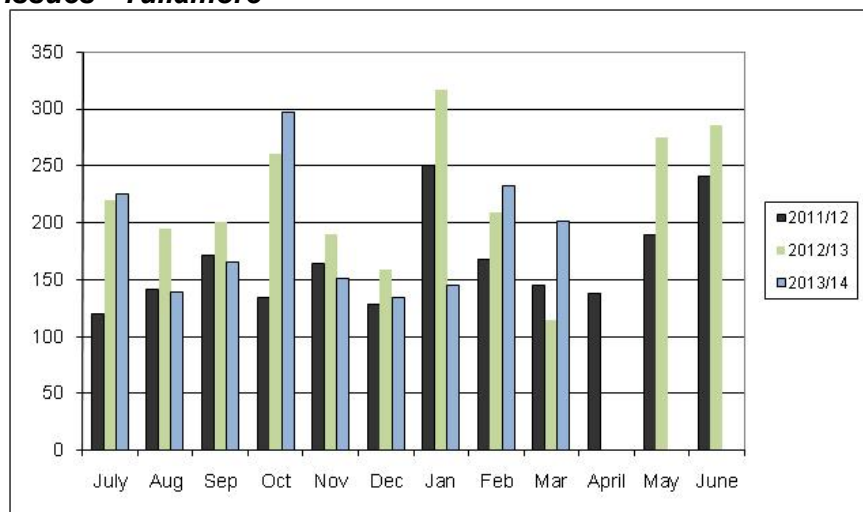
General Manager

Mayor

Issues - Trundle



Issues - Tullamore



General Manager

Mayor

	Parkes Visitor Count *		Parkes Internet Sessions		Parkes Wireless Count		Local History Count	
	12/13	13/14	12/13	13/14	12/13	13/14	12/13	13/14
July	5436	5288	724	699	81	106	30	20
August	4832	4980	746	684	68	132	42	21
September	6370	5710	740	580	84	104	26	15
October	5106	5127	734	585	43	118	30	28
November	4848	4547	791	611	77	112	36	22
December	3396	3821	499	557	56	95	24	13
January	4820	4960	677	723	46	80	37	23
February	4773	4756	637	630	123	85	31	16
March	2605	5153	389	705	53	110	12	21
April	5212		625		99		17	
May	5157		673		67		25	
June	4490		609		80		12	
TOTAL	57045	44342	7784	5774	877	942	322	179

*Includes staff coming and going.

New Members

	Parkes		Peak Hill		Trundle		Tullamore	
	12/13	13/14	12/13	13/14	12/13	13/14	12/13	13/14
July	50	70	1	3	1	1	4	1
August	66	58	1	2	6	2	0	4
September	85	180	2	1	5	0	3	4
October	56	56	6	1	5	0	3	0
November	42	42	9	4	1	2	3	2
December	24	39	3	2	2	0	1	0
January	43	54	2	3	0	1	6	1
February	73	93	6	1	1	4	1	0
March	17	62	7	4	1	3	0	2
April	59		3		2		1	
May	47		1		4		0	
June	53		0		0		2	
TOTAL	617	654	41	21	28	13	24	14

Regular Activities and Events -

Activity	Attendees	No. of sessions
Computer classes	1	1
School class visits	22	2 (St Pats Trundle)
Storytime	44	4
Rhyme Time *	276	8
PyjamaRama *	50	4
Currajong Disability Service	29	3
Author-rised, Writing Group	12	1

* (Adults and children are counted for Rhyme Time and PyjamaRama sessions as the session is equally about early literacy skills and giving parents the confidence to continue this effort at home.)

General Manager

Mayor

Waste to Art Local Exhibition and Competition - A giant rug, phone jewellery, a clown, delicate hats, a secret garden, collage with a statement and a zombie are just some of the astonishing artworks made from waste at the 2014 Parkes Waste to Art & Design Exhibition.

This is the 10th Waste to Art exhibition. In 2004 38 entries were entered over four categories. In this year's exhibition there are 72 entries over 14 categories. The waste to art exhibition has become an very important annual event in the Parkes Shire.

The winners were announced on to a crowd close to 100 on Thursday evening, April 3:

- **Primary 3 Dimensional Winner** - Secret Garden by - by The Little Art Company Beginners Group (Lilia Howard, Lucy Noakes, Mitchell Arndell, Darcy Summerhayes, Ruby Wilson, Sara Santhosji, Joshua Bail, Thomas Ball, Aimee Ross, Aden Neems).
- **Highly commended Primary 3 Dimensional** - "Block Mania 1" - The Little Art Company Juniors Group (Matilda Wilson, Zoe Anderson, Jesse Woods, Charlie Strudwick, Gemmah Neilsen, Marnie Noakes)
- **Primary 2 Dimensional Winner** - "Butterfly" - by Laura Kirk
- **High School 3 Dimensional Winner** - "Waste to Man" by Harrison Jones
- **Highly commended High School 3D** - "Currajong" by Jamie Maxwell
- **High School 2 Dimensional Winner** - Keys by Charlotte Fisher
- **Highly commended High School 2D** - Fallen on Salt Island by Andrew Ashe
- **High School Functional Winner** - Library Handbag by Mikala McLean
- **Highly Commended High School Functional** - Coffee Table by Jock Darcy
- **Community 3 Dimensional Winner** - Lunch by Bob Hansford
- **Highly Commended Community 3D** - Jack and Jim by Rod Tanswell
- **Community 2 Dimensional Winner** - My Life in the Pool by Hana Cowperthwaite
- **Highly Commended Community 2D** - Sunshine by George Heath
- **Community Functional Winner** - Centenary of Linen and Lace by Roseanne Jones
- **Highly Commended Community Functional** - I NEED a new phone by Sharyn Preisig
- **Open 3 Dimensional Winner** - Brown Tree Frog by Bob Hansford
- **Highly commended Open 3D** - Clown by Elsie Mahon
- **Open 2 Dimensional Winner** - Boss of the Hen House by Elsie Mahon
- **Open Functional Winner** - Fly Away, Cat's Ears by Christine Somers
- **Highly commended Open Functional** - Fantastic Plastic by Elsie Mahon
- **Building/Sculpture 2D Winner** - Wastefall by the Middleton Public School Community
- **Building/Sculpture 3D Winner** - Best Dressed Tree in Town by Middleton Public School Community



General Manager



Mayor

- **Building/Sculpture Functional - Who said size does not matter** by Helen Standen



Currajong Disability with Garden Setting, Steven Campbell and Elsie Mahon with Boss of the Hen House, Laura Kirk with her work Butterfly.

Visitors to the exhibition are also invited to vote for their favourite. The "People's Choice award will be given at the end of the exhibition. The exhibition is open at Parkes Library until Wednesday April 30.

The winners of the Parkes local exhibition go onto the Regional competition and exhibition which is being hosted by Dubbo City Council with the opening planned for Saturday June 28. Local artist Helen Standen has been asked to carry out a workshop as part of the Regional Exhibition.

Seniors Week, Harmony Day and International Day for Women - During March a number of national/international events were celebrated across the Shire libraries.

On 7 March Parkes Library supported Migrant Support Worker Anni Gallagher and hosted a lunch and workshop for International Women's Day. Over 60 women shared a multi-cultural lunch and had a session on weaving.

For Harmony Day a morning tea with short film showing was held at Parkes Library. Only small number of people attended, but did enjoy the films. Library Assistant Debbie Gould held a special Harmony Day session for the Currajong Disability group.

During Seniors Week History Library Assistant Deanna Kearney held a workshop on family history at Trundle Library. The workshop attended by 8 people focused on using Internet resources such as Trove, Ancestry.com and Find My Past to research family histories.

NSW Public Libraries Conference 2014 - The 2014 NSWPL conference is being hosted by Mid-Western Regional Council and held in Mudgee from 11 to 14 November at the Parkslands Resort and Conference Centre.

The theme of the conference is "A Fortunate Life, Libraries and Community Wellbeing".



General Manager



Mayor

12 DIRECTOR PLANNING AND ENVIRONMENT'S REPORT

12.1 (DPE) March 2014 Building Statistics

Executive Summary

During the month of March 2014 there were nineteen (19) Development Applications received totalling \$3,377,285.00 and seven (7) consents were issued. Two (2) Complying Development Certificates were received totalling \$42,410.00 and four (4) consents were issued.

Background Information

The report is furnished to Council on a monthly basis and provides a snapshot of development activity in the Shire during that period.

Legislative, Policy & Management Planning Implications

Nil.

Budget & Financial Aspects

Nil.

Recommendation

1. That the information be received and noted.



General Manager



Mayor

Report

The figures shown in the table below are for Development Applications received during March 2014 with respect to the specified building types.

The figures in the shaded area of the table are March 2013.

Building Type	No.	Estimated Value	No.	Estimated Value
New Dwellings	7	\$2,536,785.00	1	\$426,000.00
Residential Flat Building	1	\$300,000.00	-	-
Addition/Alteration to Dwelling	1	\$16,500.00	2	\$275,000.00
Outbuildings (carport, pergola, garages, sheds)	4	\$91,800.00	3	\$61,900.00
Swimming Pools	-	-	-	-
Class 10b – Structures	2	\$403,500.00	-	-
Additions to Commercial Buildings	1	\$1,700.00	-	-
Additions to Industrial Buildings	-	-	-	-
New Commercial / Industrial Buildings	-	-	1	\$2,500,000.00
Subdivision	-	-	2	-
Home Industry	-	-	-	-
Home Occupation	1	\$0.00	-	-
Change of Use	2	\$27,000.00	1	\$5,000.00
Demolition	-	-	-	-
Boarding House - Class 1b	-	-	-	-
Totals	19	\$3,377,285.00	10	\$3,267,900.00
Total 01/07/13 - 31/03/14	105	\$16,054,166.20	83	\$9,433,400.50

The following list of Development Consents were issued in the month of March 2014.

Application No.	Address	Description
DA13097	78 Clarinda Street, Parkes	Change of Use - Office
DA13099	11 Station Street, Bogan Gate	Dwelling-House & Demolition of Existing Bathroom
DA13105	21 Molong Road, Parkes	Garage
DA14004	36 Kelly Road, Parkes	Patio Cover
DA14005	132 Mitchell Street, Parkes	Erection of Dwelling-House
DA14007	52-58 Coronation Avenue, Parkes	Garage
DA14019	Forbes Road, Parkes	Security Fence & Advertising Signage



General Manager



Mayor

The figures shown in the table below are for Complying Development Certificates received during March 2014 with respect to the specified building types.

The figures in the shaded area of the table are for March 2013.

Building Type	No.	Estimated Value	No.	Estimated Value
Urban Dwellings	-	-	-	-
Addition/Alteration to Dwelling	1	\$10,000.00	1	\$2,000.00
Outbuildings (carport, pergola, garages, sheds)	-	-	2	\$62,000.00
Swimming Pools	1	\$32,410.00	-	-
Structures - Class 10b	-	-	-	-
Additions to Industrial/Commercial Buildings	-	-	1	\$440,000.00
Commercial use and building alterations	-	-	-	-
Change of Use	-	-	-	-
Boundary Adjustment/Strata Subdivision	-	-	-	-
Demolition (SEPP)	-	-	-	-
Totals	2	\$42,410.00	4	\$504,200.00
Total 01/07/13 - 31/03/14	62	\$5,553,042.00	60	\$5,626,262.64

The following is a list of Complying Development Certificates which were issued in the month of March 2014.

Application No.	Address	Description	Certifying Authority
CDC14001	16 Angeleish Avenue, Parkes	Dwelling	PSC
CDC14005	17 Kingsford Aveune, Parkes	Garage	PSC
CDC14009	6 Davids Lane, Parkes	Inground Swimming Pool	PSC
CDC14011	64-68 Station Street, Parkes	Hard Stand Area	PSC

Note:

PSC - Parkes Shire Council; PC - Principal Certifier



General Manager



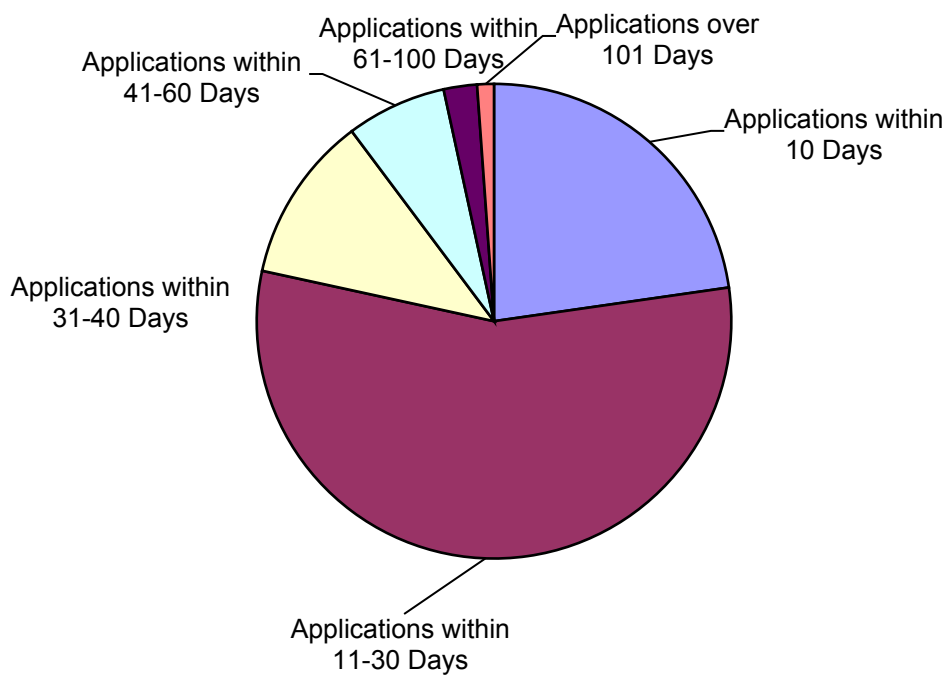
Mayor

DA Processing Times for Approvals

The information shown in the pie chart below are Development Application approvals issued for the period 1 July 2013 to 31 March 2014.

It should be noted that a total of 88 Development Applications have been approved with an average of 22.30 days.

DA Processing Times for Approvals



Attachments

Nil.

General Manager

Mayor

12.2 (DPE) Planning Proposal - Proposed Rezoning of Lot 12 in DP 1131006, Lorking Street, Parkes

Executive Summary

Council has received a Planning Proposal from Geolyse Pty Ltd on behalf of Karina White and Duane Sullivan to amend the *Parkes Local Environmental Plan 2012*. The Planning Proposal relates to Lot 12 DP 1131006, Lorking Street, Parkes and seeks to rezone the RU1 Primary Production portion of the land to R1 General Residential and amend the minimum lot size from 400 hectares to 600m².

The subject land is identified in the *Parkes Land Use Strategy 2012* as being suitable for future residential use. Should Council support the planning proposal it will be forwarded to Planning and Infrastructure for a gateway determination. The gateway determination will stipulate if the planning proposal should proceed and outline any necessary referrals, any additional information required and the community consultation requirements.

A copy of the planning proposal is included as an attachment to this report.

Background Information

Nil.

Legislative, Policy & Management Planning Implications

The planning proposal seeks to amend the *Parkes Local Environmental Plan 2012*. The proposal is consistent with the *Parkes Shire Land Use Strategy 2012*.

Budget & Financial Aspects

The proponent has paid the appropriate fee for the planning proposal.

Recommendation

That Council:

1. receive and note the planning proposal for the proposed rezoning of Lot 12 DP1131006, Lorking Street, Parkes.
2. forward the Planning Proposal to Planning and Infrastructure for Gateway Determination in accordance with Section 56 of the Environmental Planning and Assessment Act 1979.
3. Council request that Planning and Infrastructure delegate the plan making powers to Council in accordance with Section 59(2) of the Environmental Planning and Assessment Act 1979.



General Manager



Mayor

Report

The subject land has a total area of 10.4 hectares and is located on the north eastern side of Parkes. The land is vacant and cleared of any significant vegetation. There is existing residential development to the south and east and rural residential development to the north.

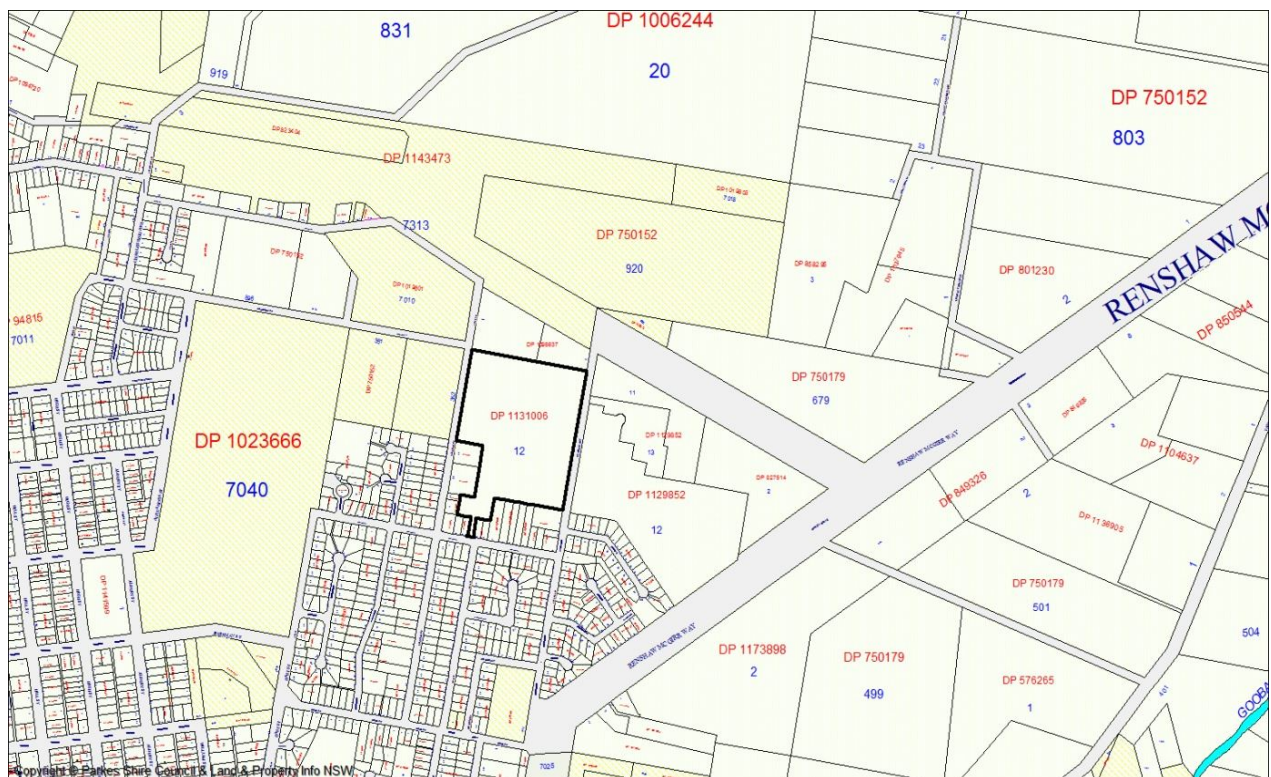
The planning proposal will facilitate the future subdivision of the land for residential purposes, which is consistent with the existing development to the south, east and south west and the surrounding locality.

The planning proposal includes a concept layout for subdivision plan. Support of the Planning Proposal to rezone the land and reduce the minimum lot size should not be considered tacit approval of the subdivision layout. The proposed subdivision will require further consideration as part of a development application to Council at a later date.

The subject land is identified in the *Parkes Land Use Strategy 2012* as being suitable for future residential use. It is considered that the land is capable of supporting the proposed zoning.

The Planning Proposal to rezone Lot 12 DP1131006, Lorking Street, Parkes is supported. It is considered that the relevant requirements under Section 55 of the *Environmental Planning and Assessment Act 1979* and the matters identified in the Department of Planning's "A Guide to Preparing Planning Proposals" have been adequately addressed in the Planning Proposal.

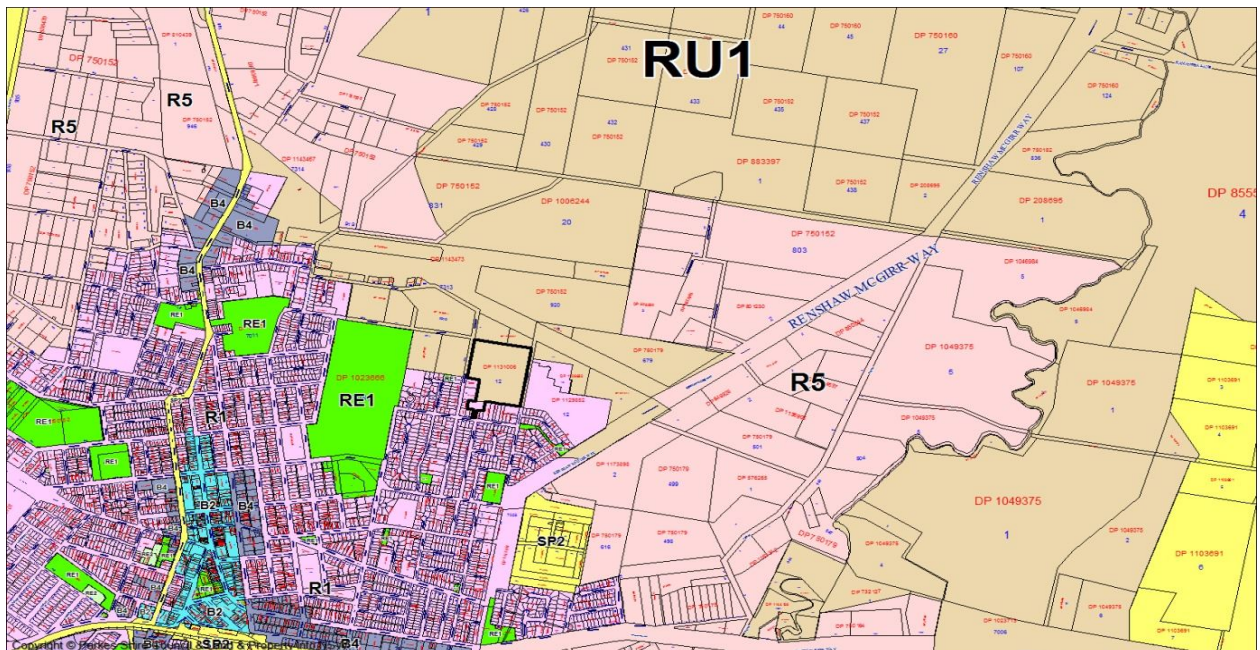
Location Map



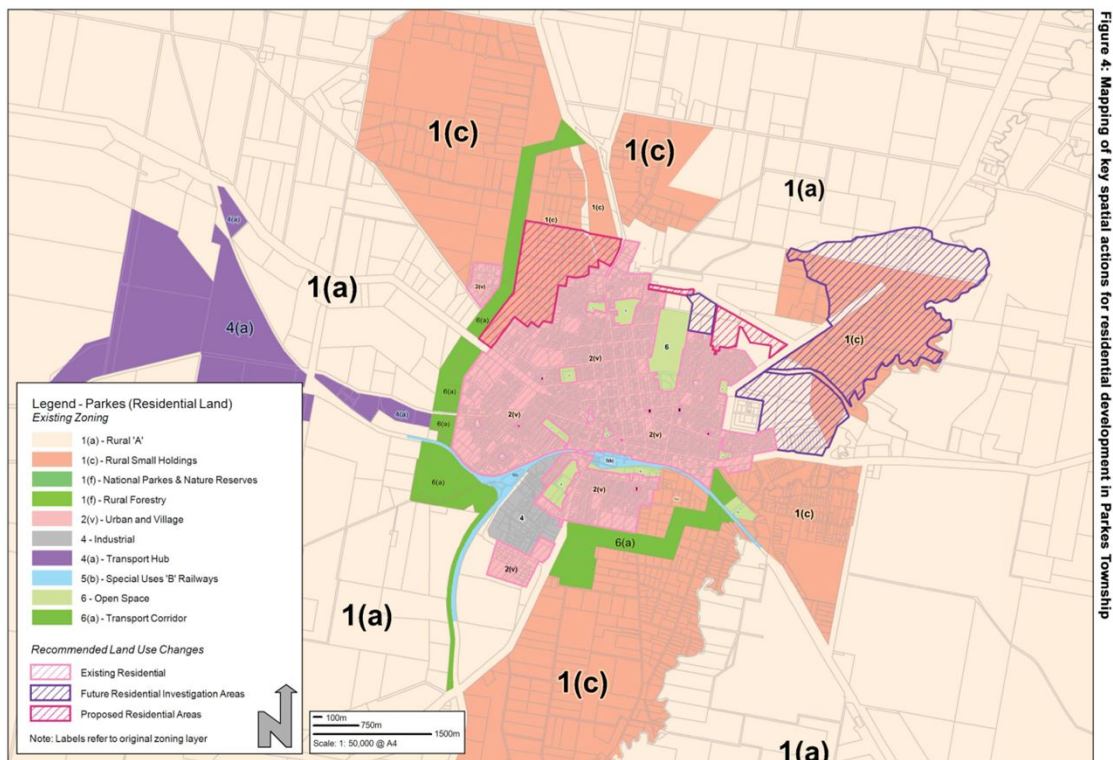
General Manager

Mayor

Parkes Local Environmental Plan 2012 Zone Map



Parkes Land Use Strategy 2012 - Mapping for key spatial actions for residential development in Parkes Township



General Manager

Mayor

Engineering Assessment

The Planning Proposal addresses the provision of services to the subject land. The Planning Proposal was referred to Council's Engineering Services Department for comment and provide an engineering assessment of the services.

Water Supply

There is an existing water supply main on the western side of Danilenko Street that could be extended subject to water pressure tests being undertaken.

A 100mm water main traverses the subject land from Barton Street to Lorking Street. It should be noted that Council will not accept easements over its water utility. All water services are to exist within a road reserve or public reserve.



Sewerage Network

There is an existing sewer network main on the western side of the subject land connecting to Barton Street that could be utilised to service a large portion of the future subdivision.

Future lots that lie outside a catchment able to drain to this service are proposed to drain to the existing service at Noonan Street. The submitted documentation does not consider downstream sewer constraints nor seek to address them. There may be the requirement for a developer contribution at a future development stage to augment the sewer network to accommodate the additional sewer load from the subdivision conceptualised in the submitted documentation.

General Manager

Mayor

Traffic

It is proposed to connect the future development to Danilenko Street, Barton Street and Lorking Street. The planning proposal considers the impact of the proposed development in regards to additional vehicle volume generated by future subdivision, but does not specifically assess capacity, road safety and access requirements.

No consideration has been given to potential upgrades or modifications to the adjoining roadways. This will likely be addressed specifically with a DA process for subsequent subdivision - a comprehensive Traffic impact Study may be required if impacts and proposed controls cannot be justified on the basis of a desktop calculation.

Stormwater

The conceptual stormwater layout proposes to convey water via a piped network for minor stormwater flows. Major stormwater flows will be conveyed overland by designated overland flow paths.

Parkes Shire Council's Engineering Services Department has no objection to the proposed planning proposal to rezone the subject land, Lot 12 DP1131006 from rural to urban use. There are service upgrades required to Council's water, sewer, stormwater and road networks, for the subject land to be utilised to its full residential potential, but it is expected that the details of these would be addressed and resolved within the development application for the subdivision of the land.

Conclusion

It is recommended that Council progress the Planning Proposal to Gateway Determination.

Attachments

1. Planning Proposal Prepared by Geolyse Pty Ltd dated April 2014 - distributed separately



General Manager



Mayor

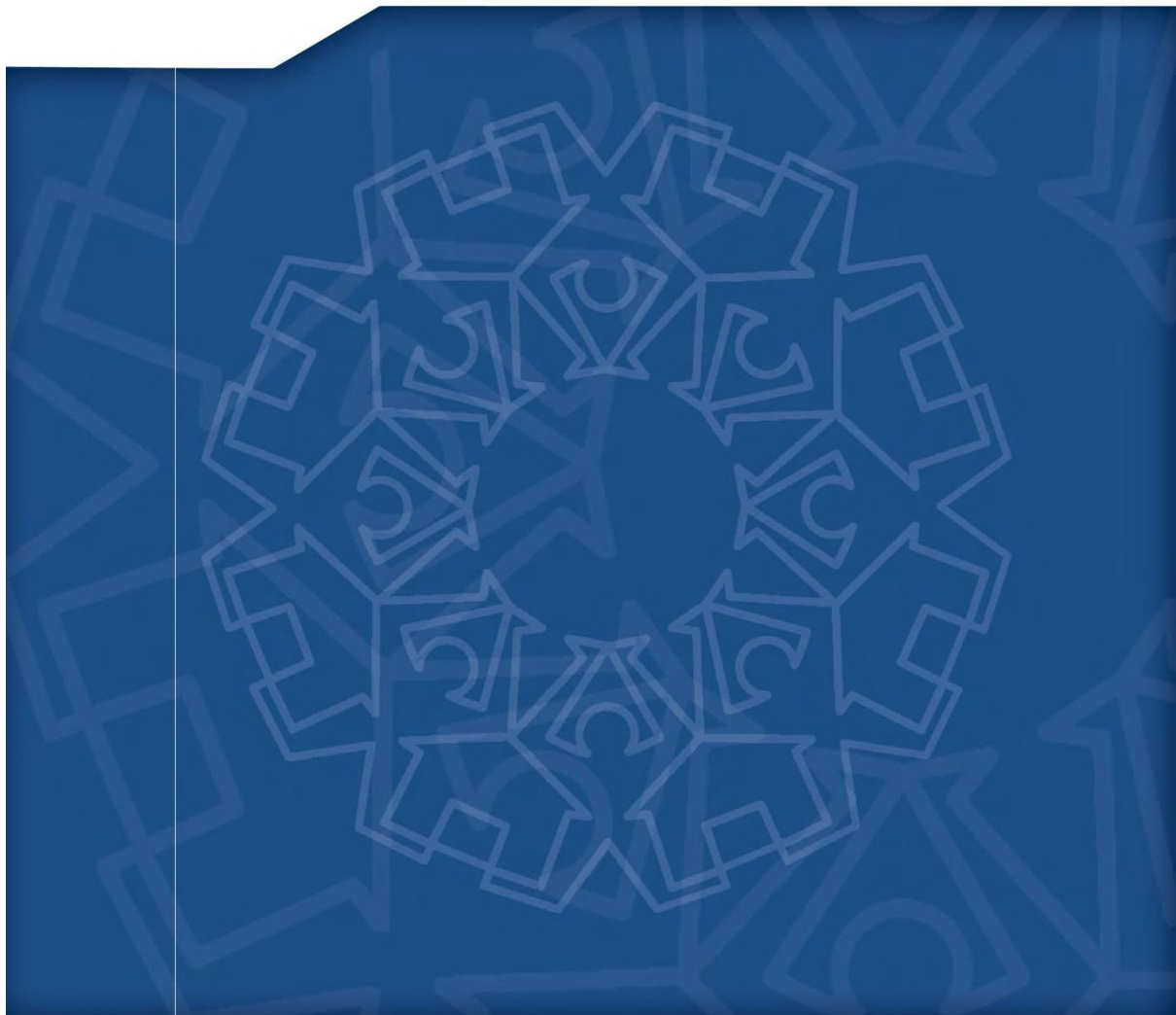


GEOLYSE

**PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP1131006,
LORKING STREET, PARKES**

**PREPARED FOR
KARINA WHITE AND DUANE SULLIVAN**

APRIL 2014



General Manager

Mayor

PLANNING PROPOSAL

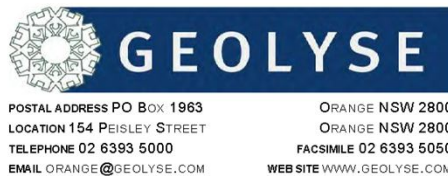
PROPOSED REZONING OF LOT 12 IN DP
1131006 AT LORKING STREET, PARKES

AMENDMENT TO THE
PARKES LOCAL ENVIRONMENTAL PLAN 2012

PREPARED FOR:

KARINA WHITE AND DUANE SULLIVAN

APRIL 2014



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General Manager

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Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Report Title:	<i>Planning Proposal</i>
Project:	<i>Proposed Rezoning of Lot 12 in DP 1131006 at Lorking Street, Parkes</i>
Client:	<i>Karina White and Duane Sullivan</i>
Report Ref.:	<i>212257_PP_001C.docx</i>
Status:	<i>Final</i>
Issued:	<i>9 April 2014</i>

Geolyse Pty Ltd and the authors responsible for the preparation and compilation of this report declare that we do not have, nor expect to have a beneficial interest in the study area of this project and will not benefit from any of the recommendations outlined in this report.

The preparation of this report has been in accordance with the project brief provided by the client and has relied upon the information, data and results provided or collected from the sources and under the conditions outlined in the report.

All maps, plans and cadastral information contained within this report are prepared for the exclusive use of Karina White and Duane Sullivan to accompany this report for the land described herein and are not to be used for any other purpose or by any other person or entity. No reliance should be placed on the information contained in this report for any purposes apart from those stated therein.

Geolyse Pty Ltd accepts no responsibility for any loss, damage suffered or inconveniences arising from, any person or entity using the plans or information in this study for purposes other than those stated above.

Document Control

Version	Date	Status	Author	Reviewed	Approved
A	16/11/2013	Draft for client review	KVH/DWW	DWW	DWW
B	06/03/2014	Final	KVH/DWW	DWW	DWW
C	09/04/2014	Final-revised	DWW	DWW	DWW

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General Manager

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Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

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General Manager

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Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

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Drawing 04A_TP03 – Aerial photograph
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Drawing 05A_E01 - Title Sheet, Drawing List and Site Locality
Drawing 05A_E02 – Concept stormwater reticulation plan
Drawing 05A_E03 – Concept sewer reticulation plan
Drawing 05A_E04 – Concept water reticulation plan

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APPENDIX C
Proposed LEP Map Amendments

APPENDIX D
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General Manager

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Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Executive Summary

Geolyse Pty Ltd has been engaged by the applicants (Ms Karina White and Mr Duane Sullivan) to prepare a Planning Proposal to amend the *Parkes Local Environmental Plan 2012*. The Planning Proposal relates to land located at Lot 12 in DP 1131006, Lorking Street Parkes.

The site has a total area of approximately 10.4 hectares and is located on the north-eastern periphery of the town of Parkes. The land is currently vacant and predominantly zoned as RU1 – Primary Production, with a small portion of the lot zoned R1 – General Residential in the south of the lot. The parcel of land adjoins existing urban residential development on Barton Street to the south and Danilenko Street to the east.

The planning proposal seeks to rezone the RU1 portion of the land to R1 – General Residential and amend the minimum lot size from 400 hectares to 600m². This would align with the existing residential development to the south and east and would enable the land to be subdivided for residential purposes.

The land is identified within the *Parkes Land Use Strategy 2012* as being suitable for future residential use, subject to adequate reporting to confirm that any impacts can be appropriately mitigated.

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General Manager

A handwritten signature in black ink, appearing to be "Ken Keith".

Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

ABBREVIATIONS

Abbreviation	Full Name
AHD	Australian Height Datum
AHIMS	Aboriginal Heritage Information Management System
AGL	Australian Gas Light Company
CASA	Civil Aviation Safety Authority
DECCW	Department of Environment, Climate Change and Water
DoP	NSW Department of Planning
DUAP	Department of Urban Affairs and Planning
EP&A Act	<i>Environmental Planning and Assessment Act 1979</i>
EPA	Environmental Protection Authority
ILUA	Indigenous Land Use Agreements
ISEPP	State Environmental Planning Policy (Infrastructure) 2007
LEP	Local Environmental Plan
LGA	Local Government Authority
LUS	Parkes Land Use Strategy 2012
NPW Act	National Parks and Wildlife Act 1974
OEH	Office of Environment and Heritage
PP	Planning Proposal
RMS	Roads and Maritime Services
SEPP	State Environmental Planning Policy
SEPP44	State Environmental Planning Policy 44 – Koala Habitat Protection
SEPP55	State Environmental Planning Policy 55 – Remediation of Land
SHR	State Heritage Register
RMS	Roads and Maritime Services
RTA	Roads and Traffic Authority (now RMS)
Rural Lands SEPP	State Environmental Planning Policy (Rural Lands) 2008

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General Manager

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Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Background

INTRODUCTION

This is a Planning Proposal (PP) prepared under Section 55 of the *Environmental Planning and Assessment Act 1979*, in relation to a proposed amendment to the *Parkes Local Environmental Plan 2012*. It will be assessed by Parkes Shire Council, the NSW Department of Planning and Infrastructure, and (depending on the Gateway determination) used for public participation on the proposed LEP amendment.

SCOPE OF REPORT

This PP has been prepared in accordance with the NSW Department of Planning's (DoP) advisory documents '*A Guide to Preparing Local Environmental Plans*' and '*A Guide to Preparing Planning Proposals*'. The latter document requires the PP to be provided in five (5) parts, those being;

- *Part 1* – A statement of the objectives or intended outcomes of the proposed LEP;
- *Part 2* – An explanation of the provisions that are to be included in the proposed LEP;
- *Part 3* – The justification for those objectives, outcomes, and provisions and the process for their implementation;
- *Part 4* – Identification of the specific amendments proposed to the LEP and mapping;
- *Part 5* – Details of the community consultation that is to be undertaken.

Part 5 would be confirmed following a Gateway Determination of this Planning Proposal by the NSW Department of Planning.

SITE DESCRIPTION AND LOCATION

The land the subject of this PP is described as Lot 12 in DP 1131006 at Lorking Street Parkes. It covers a total area of 10.4 hectares and is located on the north-eastern outskirts of Parkes.

The land is currently zoned RU1 – Primary Production under the *Parkes Local Environmental Plan 2012* (LEP) with a minimum lot size of 400 hectares, however it has been identified as future residential land by the *Parkes Shire Council Land Use Strategy 2012* (LUS).

It is bordered to the north by rural residential development, to the south by urban residential development fronting Barton Street, to the west by Lorking Street, and to the east by Danilenko Street.

Figure 1 provides an aerial view of the subject site.

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General Manager

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Figure 1: Subject Site (Source: Six Maps)

TOPOGRAPHY AND SOILS

King (1998) identifies the site as being within the Parkes Soils Landscape. This soil landscape is characterised by narrow crests and gently inclined sideslopes with slope gradients between 2-5% (King 1998).

In relation to urban land uses, the Parkes Soil Landscape has been identified as having:

Topsoils are unsuitable for structural earthworks. Subsoils are more suitable and some sub soils tested on this landscape have earthwork category ratings of B, C and D (King 1998b).

The above mapping is undertaken at a broad scale. Existing residential development on the adjacent parcel of land illustrates structural earthworks can be undertaken. Soil testing would be undertaken at built form stage to determine slab types, however there is no indication that the site would be prohibitive to the proposed residential land use.

FLORA AND FAUNA

An Ecological Assessment of the subject site was undertaken for the proposed rezoning and is attached at **Appendix A**.

The report makes the following conclusions:

11. It is considered that conducting an assessment for significance of project impacts on biodiversity (Seven Part Tests) under s5A of the EP&A Act is not warranted owing to the highly disturbed nature of the study area and the lack of suitable habitat for any naturally occurring threatened biodiversity on the site, as follows;

- The study area has been completely cleared of its original native vegetation.*
- The ground cover is in 'low' condition being comprised almost entirely of introduced species.*

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- *Intensive farming of the area for over 150 years has eliminated almost all of the original native flora species. Only a few grazing-tolerant native herb and grass species now occur there.*
- *No threatened flora species, including the Silky Swainson-pea, was found on the study area and suitable habitat no longer exists for any threatened flora species.*
- *No threatened fauna species were found on the study area and suitable habitat to support breeding populations of threatened fauna species is absent.*
- *The study area has a low chance of occasionally being utilised as foraging habitat by wide ranging threatened birds of prey (Spotted Harrier and Little Eagle) and by wintering Flame Robins. However, it is considered unlikely such species would utilise the area owing to its poor habitat quality and proximity to human habitation.*
- *No threatened ecological communities occur on the study area.*
- *One planted specimen of the threatened Wallangarra White Gum occurs on the study area. This species is widely planted through south eastern Australia as an ornamental tree. The removal of a single tree would have no impact on the conservation of wild populations of the species and, given the widespread nature of its ornamental plantings, would have no significant impact on the overall survival of the species.*

12. *It is concluded that there are no biodiversity constraints to subdivision of the study area for residential housing.*

On the basis of the above assessment, it is determined that the site is suitable for use for residential development purposes.

HERITAGE

INDIGENOUS HERITAGE

In NSW the principle laws which deal with Aboriginal cultural heritage are the following:

- *National Parks and Wildlife Act 1974 (NPW Act)* now under the auspices of the Office of Environment and Heritage;
- *Environmental Planning and Assessment Act 1979 (EP&A Act)*; and
- *The NSW Native Title Act 1994.*

Section 86 of the NPW Act sets out a number of offences about 'harm' or desecration to an Aboriginal object. Aboriginal places or objects that are recognized as having high cultural value are listed on the State Heritage Register (SHR) along with historical archaeological, landscape and built items.

The Office of Environment and Heritage Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW (2010) recommend the following activities as part of a property assessment:

- Search the Aboriginal Heritage Information Management System (AHIMS) for previously identified sites and places located within the property or within a nominated buffer zone to the subject property;
- Assess the landscape in line with the NSW Guidelines that identify landscapes with potential to contain Aboriginal objects (NSW DECCW 2010);
- Consult the State Heritage Register database, which also lists Aboriginal places or objects that are recognized as having high cultural value; and
- Consult the National Native Title Tribunal to identify any relevant groups and claims.

A review of the Office of Environment and Heritage (OEH) Aboriginal Heritage Information Management System (AHIMS) with a buffer of 50 metres confirms that there are no known instances or sites of Aboriginal significance on or near the site – refer **Appendix B**.

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The Office of Environment and Heritage also maintain the NSW Atlas of Aboriginal Places. A search was undertaken for the Parkes Local Government Area (LGA) however no results were returned.

The SHR was searched for Aboriginal places or objects. In the Parkes LGA, no Aboriginal places or objects were revealed.

A search of the National Native Title database, Native TitleVision, was undertaken for native title land applications, determinations or Indigenous Land Use Agreements (ILUAs) relevant to the subject property. The database and mapping provided showed there is no registered National Native Title claim for the project area.

Landscape Assessment

Aboriginal objects would be likely to occur on land that has not been 'disturbed' by layers of development which includes construction of roads, trails and tracks and that is also located:

- within 200 metres of waters; (where 'Waters' means the whole or any part of: any river, stream, lake, lagoon, swamp, wetlands, natural watercourse, tidal waters);
- within a sand dune system;
- on a ridge top, a ridge line or a headland;
- within 200 metres below or above a cliff face; and/or
- within 20 metres of, or in a, cave, rock shelter or a cave mouth. (NSW DECCW Due Diligence Code of Practice, 2010,12).

The subject property, Lots 12 in DP 1131006, is a 10.4 hectare predominantly primary production zoned site located on the north eastern edge of the town of Parkes, with frontages to Barton, Danilenko and Lorking Streets.

The landscape of the site is generally flat with historical use for cropping and grazing. The site is dominated by grassland/forbland and trees and planted shrubs. The majority of the site (65%) consists of introduced flora species, representative of the sites historical grazing and cropping use. The site is located mid-slope with gentle slope ranging from 0 – 10%; aspect is predominantly sought-east.

The planning proposal would result in the rezoning of the site for residential purposes, to enable the future residential development of the site. This would include development of roads, installation of services and development of houses.

There are no waterways within the site however a dam is located on the adjacent site to the north-west. It appears that the site contains an overland flow path for waters from the north-west.

The subject property is not located within 200 metres of waters, a sand dune system, ridge top, headland, cliff face, cave or rock shelter.

Conclusion

The NPW Act provides that a person who exercises due diligence in determining that their actions would not harm Aboriginal objects has a defence against prosecution for the strict liability offence if they later unknowingly harm an object without a permit. The Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW (2010) guidelines note that:

- if there are no relevant confirmed site records or other associated landscape feature information on AHIMS; and / or
- there are no other sources of information of which a person is already aware; and / or
- there are no landscape features that are likely to indicate presence of Aboriginal objects.

then - works can proceed with caution.

Given the lack of indicators of Aboriginal cultural heritage, it is concluded that works can proceed with caution. If any objects are found which are suspected of being Aboriginal in origin, then, in line with the NSW legislation work must cease. The project supervisor is to then contact the Environment Protection

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and Regulation Group of the Office of Environment and Heritage for advice on how to proceed. The phone number of Western Region OEH, located in Dubbo is (02) 6883-5330.

NON-INDIGENOUS HERITAGE

Parkes was originally founded in 1853 as the settlement Currajong, named for the abundance of kurrajong trees in the local area by the settlers, but was then known as Bushman's (from the local mine named Bushman's Lead) (Library.parkes.nsw.gov.au, 2013).

In August 1873, Henry Parkes (later Sir Henry) visited the area and in December 1873 the town was officially renamed Parkes in his honour (Library.parkes.nsw.gov.au, 2013). (Sir Henry Parkes is recognised in Australia as having played an instrumental role in Australia becoming a unified and federated country.) In March 1885, Parkes was proclaimed a town.

Registered Historic Items

The State Heritage database is maintained by the NSW Heritage Office and lists all items that have been identified as of heritage value on Regional Environmental Plans and Local Environmental Plans throughout NSW.

The State Heritage Register lists those places which are of State Significance which have been listed by the NSW Heritage Office under the NSW Heritage Act. In contrast the NSW State Heritage Inventory contains items considered by Local Councils and State Government Agencies to be of heritage value.

1. NSW Heritage Register

Fourteen items in the local and broader Parkes Region have been given state significance through listing under the *NSW Heritage Branch*. Two of these items were listed under the NSW Heritage Act and the remaining twelve have been listed by Local Government and State Government. A review of these items confirms that no listed items are located on or in the vicinity of the subject site.

2. Parkes LEP 2012

Schedule 5 of the LEP lists those items considered of significance at the local, state and national level. A review of these items confirms that no listed items are located on or in the vicinity of the subject site.

On the basis of the above, no further assessment of non-indigenous heritage matters is deemed necessary.

Notwithstanding this assessment, if, during the course of clearing work, significant European cultural heritage material is uncovered work should cease in that area immediately. The NSW Heritage Branch should be notified and works only recommence when an appropriate and approved management strategy instigated.

BUSHFIRE

The subject site is not bushfire prone in accordance with Parkes Shire Council's Bushfire Prone Land Maps. As such the provisions contained within the *Planning for Bushfire Protection Guidelines 2006* are not applicable to the subject site.

FLOODING

The subject site is located some 1.5km from the nearest watercourse, being Goobang Creek. The subject site is not known to be affected by mainstream flooding.

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CONTAMINATION

Envirowest Pty Ltd have undertaken a Desktop Preliminary Contamination Investigation (refer **Appendix D**) which involved a confirmation of previous land uses to have been undertaken and walk over of the site.

Whilst the site is used for agricultural purposes, Envirowest Consulting confirm that no pesticides or other potentially contaminative chemicals are known to have been sprayed on the land on a regular basis. No other contaminative land uses are known to have been undertaken on the subject site.

The site walkover did not reveal any surface contamination of the soil located on the site.

STORMWATER & DRAINAGE

The site generally drains to the south/south-east into a table drain along Danilenko Street. There is a natural drainage line traversing the site from northwest to south east however this is not marked on any topographic maps. Surface water generally enters the table drain along Danilenko Street via this drainage line. The proposed subdivision lot layout (refer **Drawing TP06**) includes a 10 metre wide drainage reserve, into which surface water from the subdivision would be directed.

DEVELOPMENT INTENT

EXISTING FACILITIES

The subject land consists of vacant grassland used for cropping and grazing purposes. No dwellings or other form of development are constructed on the site. The land is relatively flat with an overall slope of between 0 - 10%.

Due to its relatively small size, however, the cropping and grazing of the site is not of a standard significant enough to produce a primary income. The owners of the property instead agist the site grazing purposes.

The site benefits from two road frontages; with frontages onto Lorking Street and Danilenko Street, together with an access to Barton Street to the south.

PROPOSED FACILITIES

Drawing TP06 provides a concept subdivision development layout for the subject site. Following the rezoning and amendments to the minimum lot size, the applicants would undertake a residential subdivision, yielding approximately 90 lots, ranging in size between 700m² and 1300m².

As per **Drawings E02-E04** each of the lots would be individually serviced by water, sewer, and stormwater mains in addition to the provision of electricity and telecommunications to each lot.

Road access to the development would be shared between Lorking, Danilenko, and Barton Streets to disperse the additional vehicle traffic across all three roads.

Detailed subdivision, servicing, and road access layout would be provided at development assessment stage should Council and the NSW Department of Planning agree to the Planning Proposal.

REZONING REQUIREMENT

Under the provisions of the existing LEP, the subject site is predominantly located within Zone RU1 – Primary Production (Land Zoning Map LZN_005D) and contains a minimum lot size of 400 hectares (Lot Size Map LSZ_005D), with a small portion in the south of the lot zoned R1 – General Residential and contains minimum lot size 600 m².

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These existing mapping features provide for the use of the site for broadacre agricultural purposes only, and do not provide for the residential subdivision of the subject site. As such, in order to achieve the above proposed outcome, amendments to the Zoning and Lot Size Mapping are required in order to allow such a development to be assessed by Council.

UTILITIES

Existing sewer, water, and stormwater mains are located within the road reserve of Barton Street to the south and within Lorking Street to the west.

In accordance with **Drawings E02-E04**, these existing services would be extended to service each of the proposed allotments.

There are also overhead powerlines and telecommunications facilities located in close proximity to the site. These facilities would be extended to service each of the allotments.

TRAFFIC

In accordance with the Roads and Maritime Services' (formally Roads and Traffic Authority) *Guide to Traffic Generating Developments 2002*, development for the purpose of a 'Dwelling House' would generate 9.0 daily vehicle trips per dwelling, including 0.85 trips in weekday peak hour periods.

As a total of 90 residential lots (assuming one (1) dwelling per allotment) are proposed to be established on the subject site, the overall development would result in approximately 810 vehicle trips per day on the local road network, and 76.5 trips during weekday peak hour periods.

The impact of these additional vehicle trips on the local road network would be off-by the following factors;

- In accordance with the *Guide to Traffic Generating Developments Policy 2002*, 25% of the above vehicle trips are expected to be confined to within the subdivision only (i.e. such as local social visits, trips to local parks, etc) and would not impact upon the wider road network; and
- Parkes is serviced by 'Western Road Liners' bus services. In accordance with the bus route map, Bus Route 551 travels past the site via Barton Street to the south. This service travels past the site three (3) times per day, in addition to a school service which travels past in the morning and afternoon on a daily basis. These services offer an alternative route to the central business district/education facilities and combine to reduce the number of vehicle trips to and from the site.

Note: All residential lots would be located within 400 metres walking distance to the nominated bus routes.

DEVELOPMENT CONSTRAINTS

TRAFFIC

The site has frontage to three local roads and no frontages to classified roads. The *State Environmental Planning Policy (Infrastructure) 2007* (ISEPP) identifies at clause 104 and Schedule 3 those developments that require referral to the Roads and Maritime Services. The relevant triggers are reproduced below for the subdivision of land.

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Table 1.1 – Traffic Generating Developments to be referred to the RTA

Purposes of Development	Size or capacity – site with access to any road	Size or capacity – site with access to a classified road or to a road that connects within 90 metres to a classified road
Subdivision	200 or more allotments where the subdivision includes the opening of a public road	50 or more allotments

Source: State Environmental Planning Policy (Infrastructure) 2007

The subject site has an overall area of approximately 10.5 hectares. A concept lot layout plan has been prepared showing an indicative lot yield of approximately 90 lots. Three new roads would be created as a result of the proposed subdivision but would not have direct access, or access within 90 metres, of a classified road. The closest classified road is Renshaw-McGirr Drive, access to which is located approximately 620 metres to the south.

On the basis that the development contains less than 200 lots and has no access to a classified road, the development is not considered to represent traffic generating development that requires referral to the RTA.

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Part 1 – Objectives or Intended Outcomes

GENERAL

The objective is to rezone a small portion of RU1 Primary Production zoned land for residential purposes in accordance with the Parkes Land Use Strategy, with the view of undertaking a residential subdivision.

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Part 2 – Explanation of Provisions

GENERAL

The proposed outcome would be achieved through the amendment of Land Zoning Map LZN_005D and Lot Sizing Map LSZ_005D of the LEP by rezoning a parcel of land zoned as RU1 – Primary Production to R1 – General Residential, as shown in **Appendix C**.

The objectives of the R1 zone are:

- *To provide for the housing needs of the community;*
- *To provide for a variety of housing types and densities;*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents;*
- *To provide attractive, affordable, well located and market-responsive residential land;*
- *To ensure that any non-residential land uses permitted within the zone are compatible with the amenity of the area; and*
- *To ensure that housing densities are broadly concentrated in locations accessible to public transport, employment, services and facilities.*

The location of the site will ensure that the above objectives are achieved. There are no site attributes or constraints that would inhibit compliance with the above objectives.

The amendment would result in necessary changes to the mapping that accompanies the LEP – these changes are discussed further in Part 4 in this proposal.

In addition to the amendment to the LEP Land Use Zoning Map LZN_005D, the corresponding Lot Size Maps would also require amendments. The subject site currently has a minimum lot size of 400 hectares, as reflective of the current RU1 – Primary Production zoning of the land. **Appendix C** depicts the proposed amendment to the relevant LEP maps (LZN_005D and LSZ_005D).

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Part 3 - Justification

NEED FOR THE PLANNING PROPOSAL

1. Is the planning proposal a result of any strategic study or report?

The Planning Proposal reflects the provisions of the *Parkes Shire Council Land Use Strategy 2012* which identifies the land as being suitable for future residential development. The Parkes Land Use Strategy was developed following consultation with the local community to develop a community vision. The Strategy is identified as having a significant role in bringing forward the community vision.

As part of the Land Use Strategy, a series of maps were developed to indicate the potential location of urban and rural residential expansion areas. *Figure 4: Mapping of Key Spatial Actions for Residential Development in Parkes Township* provides a map of the urban residential expansion areas for Parkes, this is reproduced in this PP as **Figure 2**.

The map breaks the land down into three (3) separate categories, those being; 'Existing Residential', 'Future Residential Investigation Areas', and 'Proposed Residential Areas'. The subject site is identified on this map as being a 'Proposed Residential Area' – refer **Figure 2**.

The proposed rezoning of the site for residential purposes would therefore follow the vision developed by Parkes Shire Council and the local community for urban residential expansion.

2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

The lodging of a Planning Proposal to rezone the land and lower the minimum lot size represents the best method of achieving the desired outcome. Due to the site's location within Zone RU1 Primary production with a minimum lot size of 400 hectares, it is not currently permissible to subdivide the land for development for general residential purposes.

The applicant intends to lodge a Development Application for a residential subdivision (in collaboration with Council to establish the most appropriate development outcome) following gazettal of the amended LEP.

RELATIONSHIP TO STRATEGIC PLANNING FRAMEWORK

3. Is the planning proposal consistent with the objectives and actions of the applicable regional or sub-regional strategy?

There are currently no Regional or Sub-Regional Planning Strategies which apply to the Parkes Shire.

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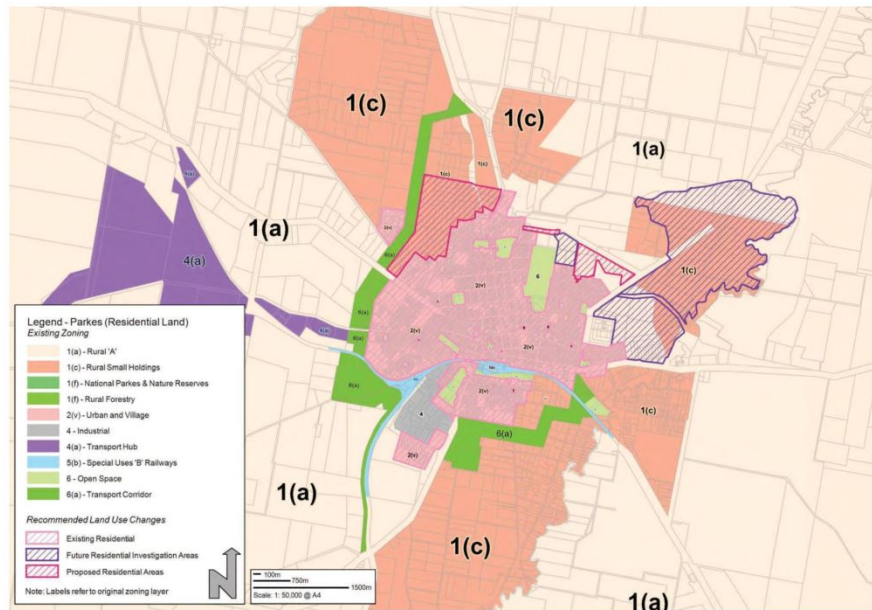
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Figure 2: Mapping of key spatial actions for residential development in Parkes Township (Source: Figure 4, PSC Land Use Strategy, 2012)

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4. Is the planning proposal consistent with Council's local strategy or other local strategic plan?

Parkes Shire Council Land Use Strategy 2012

The LUS was developed in order to provide the necessary framework for the long term and sustainable planning of the Parkes Local Government Area. The Strategy was designed to guide the review of the now superseded *Parkes Local Environmental Plan 1990* and the development of the LEP, with the implementation of the Strategy being one of the key desired outcomes.

The Strategy identifies that a distinct lack of vacant residential land in desirable locations has in the past been a disincentive for settling in the Parkes Township. The objective of the Strategy from a residential perspective provides focus on the provision of residential land stock in attractive and serviceable locations that are free of constraints.

Figure 4: Mapping of Key Spatial Actions for Residential Development in Parkes Township, reproduced as Figure 2 in this PP, provides a map indicating the location where land stock that meets the criteria are located. The subject site is identified on Figure 2 as being one of these locations.

The purpose of the Planning Proposal to rezone the land for residential purposes is therefore consistent with the above Strategy.

5. Is the planning proposal consistent with applicable State Environmental Planning Policies?

State Environmental Planning Policy No. 44 – Koala Habitat Protection

State Environmental Planning Policy 44 - Koala Habitat Protection (SEPP44) aims to:

...encourage the proper conservation and management of areas of natural vegetation that provide habitat for Koalas, to ensure permanent free-living populations over their present range and to reverse the current trend of population decline...

This policy applies to all LGAs within the known state wide distribution of the Koala, including the Parkes LGA. SEPP 44 defines 'potential koala habitat' as vegetation that incorporates a minimum of 15 percent of tree species (listed in Schedule 2 of SEPP 44) in the 'upper or lower strata of the tree component'.

The subject site is formed predominantly of grassland, dominated by introduced flora species and sparse native vegetation (less than 35%). The development of a residential subdivision on the subject site would require removal of trees, the Ecological Assessment (refer **Appendix A**) details the impacts on potential koala habitat.

The Ecological Assessment found that:

The flora survey detected no koala food trees listed under Schedule 2 of SEPP 44. Also, there is no evidence of a breeding koala population. Consequently, the study area is not core koala habitat and a SEPP 44 Plan of Management is not required.

No further assessment of koala habitat is required under SEPP 44.

State Environmental Planning Policy No. 55 – Remediation of Land

State Environmental Planning Policy 55 – Remediation of Lands (SEPP55) aims to:

...promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment...

This policy applies to the whole of the State, including the Parkes LGA. SEPP55 defines 'contaminated land' as per the definition in Part 5 of the *Contaminated Land Management Act 1997 No 140* as the presence in, on or under the land of a substance a concentration above the concentration at which the substance is normally present in, on, or under (respectively) land in

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the same locality, being a presence that presents a risk of harm to human health or any other aspect of the environment.

In accordance with DUAP & the EPA's (1998) *Managing Land Contamination Planning Guidelines*, a Stage 1 – Preliminary Investigation has been undertaken for the subject site. The study is contained in **Appendix D** and concludes that the land is suitable for the proposed land use.

State Environmental Planning Policy (Rural Lands) 2008

In accordance with Clause 4 of Ministerial Direction 1.5 – Rural Lands below, where a rezoning effects land located within a rural or environmental protection zone, the Planning Proposal must be consistent with the Clause 7 – Rural Planning Principles contained in the SEPP (Rural Lands) 2008.

Below is a summary of the proposal's compliance with the Rural Planning Principles;

(a) The promotion and protection of opportunities for current and potential productive and sustainable economic activities in rural areas;

The portion of land proposed for rezoning is located within RU1 – Primary Production. It is located immediately north of a residential part of Parkes, and is not intended for rural production or economic activities such as agriculture or grazing.

(b) Recognition of the importance of rural lands and agriculture and the changing nature of agriculture and of trends, demands and issues in agriculture in the area, region or State;

The land is currently zoned RU1 – Primary Production under the LEP with a minimum lot size of 400 hectares, however it has been identified as future residential land by the *Parkes Shire Council Land Use Strategy 2012* (LUS). This is a reflection of the changing nature of the agriculture and residential trends and requirements in the area.

(c) Recognition of the significance of rural land uses to the State and rural communities, including the social and economic benefits of rural land use and development;

Given the small size of the site, its low level of viability for primary production use and that it has been identified via the Parkes LUS as being suitable for a residential land use; it is considered that the loss of this primary production land is acceptable.

(d) In planning for rural lands, to balance the social, economic and environmental interests of the community;

Parkes demonstrates a good diversification of activities that contribute to the local economy, with agriculture significantly contributing to the local economy (mainly livestock and grain); however agriculture is a smaller component of the Parkes economy than many other regional areas of NSW and Australia.

It has been recognised that Parkes economy is influence heavily by mining (Northparkes Mine) and industrial activities including the National Logistics Hub (transport, warehousing and manufacturing). This PP aims to develop provisions for increases in population and housing requirements to support the growing industries, at the expense of the availability of rural zoned land.

(e) The identification and protection of natural resources, having regard to maintaining biodiversity, the protection of native vegetation, the importance of water resources and avoiding constrained land,

No ecologically endangered communities or species have been observed on the subject site. The overland flows traversing the site from northwest to southeast will be maintained by diverting into a 10 metre wide drainage reserve.

(f) The provision of opportunities for rural lifestyle, settlement and housing that contribute to the social and economic welfare of rural communities,

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As identified in the *Parkes Shire Council Land Use Strategy 2012* the land is identified as future residential land. The rezoning of this land enables increased provisions for settlement and housing, thereby contributing to the social and economic welfare of Parkes as a rural community.

(g) The consideration of impacts on services and infrastructure and appropriate location when providing for rural housing,

Existing sewer, water, and stormwater mains are located within the road reserve of Barton Street to the south and within Lorking Street to the west.

Reference is made to **Drawings E02-E04** which provides a concept servicing layout for the proposed subdivision. Each of the lots would be individually serviced by water, sewer, and stormwater in addition to the provision of electricity and telecommunications to each lot.

Road access to the development would be shared between Lorking, Danilenko, and Barton Streets to disperse the additional vehicle traffic across all three roads.

(h) Ensuring consistency with any applicable regional strategy of the Department of Planning or any applicable local strategy endorsed by the Director-General.

Compliance with all applicable regional and local planning strategies can be achieved. Details as to how the Planning Proposal can comply with such strategies are detailed throughout **Part 3** of this report.

On the basis of the above, the proposal is considered to be broadly compatible with the rural planning principles contained within the Rural Lands SEPP.

6. Is the planning proposal consistent with the applicable Ministerial Directions (s.117 directions)?

Direction 1.2 – Rural Zones

This direction applies when a relevant planning authority prepares a Planning Proposal that will affect land within an existing or proposed rural zone. The objective of the direction is to protect the agricultural production value of rural land.

A planning proposal must not rezone land from a rural zone to a residential, business, industrial, village or tourist zone unless the relevant planning authority can satisfy the Director-General of the Department of Planning that the provisions of the planning proposal that are inconsistent are:

- justified by a strategy which:
 - gives consideration to the objectives of this direction,
 - identifies the land which is the subject of the planning proposal (if the planning proposal relates to a particular site or sites), and
 - is approved by the Director-General of the Department of Planning, or
- justified by a study prepared in support of the planning proposal which gives consideration to the objectives of this direction, or (c) in accordance with the relevant Regional Strategy or Sub-Regional Strategy prepared by the Department of Planning which gives consideration to the objective of this direction, or
- is of minor significance.

The proposal demonstrates that whilst it would result in the loss of rural land, the site is a strategically positioned location for the expansion of the Parkes urban area via its identification in the Parkes LUS 2012 and there is a demonstrated demand for expansion in this sector of the town. The site is positioned to ensure it does not cumulatively impact upon other land with agricultural production potential.

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General Manager

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Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Direction 1.3 – Mining, Petroleum and Extractive Industries

This direction applies when a relevant planning authority prepares a planning proposal that would have the effect of:

- (b) *restricting the potential development of resources of coal, other minerals, petroleum or extractive materials which are of State or regional significance by permitting a land use that is likely to be incompatible with such development.*

The site is not known to contain any resources that are of state or regional significance.

Direction 1.5 – Rural Lands

This direction applies when a relevant planning authority prepares a planning proposal that will affect land within an existing or proposed rural or environment protection zone. The objectives of the direction are to:

- (a) *protect the agricultural production value of rural land,*
- (b) *facilitate the orderly and economic development of rural lands for rural and related purposes.*

A planning proposal must not be inconsistent with the Rural Planning Principles listed in *State Environmental Planning Policy (Rural Lands) 2008* unless it can satisfy the Director-General of the Department of Planning (or an officer of the Department nominated by the Director-General) that the provisions of the planning proposal that are inconsistent are:

- justified by a strategy which:
 - gives consideration to the objectives of this direction,
 - identifies the land which is the subject of the planning proposal (if the planning proposal relates to a particular site or sites, and
 - is approved by the Director-General of the Department of Planning and is in force, or
- is of minor significance.

The PP is broadly consistent with the Rural Planning Principles listed in the Rural Lands SEPP on the basis that the proposal would provide for needed expansion of the Parkes urban area in an orderly and logical manner, limiting impact on other agricultural land. It is understood that this PP would not conflict with the future planning of the area.

Direction 2.3 – Heritage Conservation

Ministerial Direction 2.3 is applicable to a Planning Proposal when an item of local heritage significance is located on the site.

"A planning proposal must contain provisions that facilitate the conservation of:

- (a) *items, places, buildings, works, relics, moveable objects or precincts of environmental heritage significance to an area, in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item, area, object or place, identified in a study of the environmental heritage of the area,*
- (b) *Aboriginal objects or Aboriginal places that are protected under the National Parks and Wildlife Act 1974, and*
- (c) *Aboriginal areas, Aboriginal objects, Aboriginal places or landscapes identified by an Aboriginal heritage survey prepared by or on behalf of an Aboriginal Land Council, Aboriginal body or public authority and provided to the relevant planning authority, which identifies the area, object, place or landscape as being of heritage significance to Aboriginal culture and people".*

Neither the LEP nor the State Heritage Register identifies the site as containing any items of local or state heritage significance.

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PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Direction 3.1 – Residential Zones

This direction applies when a relevant planning authority prepares a planning proposal that will affect land within an existing or proposed residential zone. The objectives of the direction are to:

- (a) to encourage a variety and choice of housing types to provide for existing and future housing needs,
- (b) to make efficient use of existing infrastructure and services and ensure that new housing has appropriate access to infrastructure and services, and
- (c) to minimise the impact of residential development on the environment and resource lands.

Where this direction applies:

- A PP must include provisions that encourage the provision of housing that will:
 - broaden the choice of building types and locations available in the housing market, and
 - make more efficient use of existing infrastructure and services, and
 - reduce the consumption of land for housing and associated urban development on the urban fringe, and
 - be of good design.
- A PP must, in relation to land to which this direction applies:
 - contain a requirement that residential development is not permitted until land is adequately serviced (or arrangements satisfactory to the council, or other appropriate authority, have been made to service it), and
 - not contain provisions which will reduce the permissible residential density of land.

The PP is consistent with these requirements as outlined throughout this report.

Direction 3.4 – Integrating Land Use and Transport

This direction applies when a relevant planning authority prepares a planning proposal that will create, alter or remove a zone or a provision relating to urban land, including land zoned for residential, business, industrial, village or tourist purposes.

The objective of this direction is

to ensure that urban structures, building forms, land use locations, development designs, subdivision and street layouts achieve the following planning objectives:

- (a) improving access to housing, jobs and services by walking, cycling and public transport, and
- (b) increasing the choice of available transport and reducing dependence on cars, and
- (c) reducing travel demand including the number of trips generated by development and the distances travelled, especially by car, and
- (d) supporting the efficient and viable operation of public transport services, and
- (e) providing for the efficient movement of freight.

A planning proposal must locate zones for urban purposes and include provisions that give effect to and are consistent with the aims, objectives and principles of:

- *Improving Transport Choice – Guidelines for planning and development* (DUAP 2001), and
- *The Right Place for Business and Services – Planning Policy* (DUAP 2001).

The PP is consistent with the principles within the above two (2) documents and the objectives of the direction.

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General Manager

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PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Direction 6.1 – Approval and Referral Requirements

Ministerial Direction 6.1 – Approval and Referral Requirements applies to all Planning Proposals forwarded for Gateway Determination by a local authority.

To be compliant with Direction 6.1, a Planning Proposal must be consistent with the following provisions;

"A planning proposal must:

- (a) *Minimise the inclusion of provisions that require the concurrence, consultation or referral of development applications to a Minister or public authority, and*
- (b) *Not contain provisions requiring concurrence, consultation or referral of a Minister or public authority unless the relevant planning authority has obtained the approval of:*
 - *The appropriate Minister or public authority, and*
 - *The Director-General of the Department of Planning (or an officer of the Department nominated by the Director-General), prior to undertaking community consultation in satisfaction of section 57 of the Act, and*
- (a) *Not identify development as designated development unless the relevant planning authority:*
 - *Can satisfy the Director-General of the Department of Planning (or an officer of the Department nominated by the Director-General) that the class of development is likely to have a significant impact on the environment, and*
 - *Has obtained the approval of the Director-General of the Department of Planning (or an officer of the Department nominated by the Director-General) prior to undertaking community consultation in satisfaction of section 57 of the Act".*

The proposed rezoning and subdivision does not include provisions that would trigger a need for concurrence, consultation, or referral to the State Government.

Direction 6.2 – Reserving Land for Public Purposes

This direction applies when a relevant planning authority prepares a planning proposal. The objectives of this direction are:

- (a) *to facilitate the provision of public services and facilities by reserving land for public purposes, and*
- (b) *to facilitate the removal of reservations of land for public purposes where the land is no longer required for acquisition.*

When this direction is applicable, the following applies:

- (4) *A planning proposal must not create, alter or reduce existing zonings or reservations of land for public purposes without the approval of the relevant public authority and the Director-General of the Department of Planning (or an officer of the Department nominated by the Director-General).*
- (5) *When a Minister or public authority requests a relevant planning authority to reserve land for a public purpose in a planning proposal and the land would be required to be acquired under Division 3 of Part 2 of the Land Acquisition (Just Terms Compensation) Act 1991, the relevant planning authority must:*
 - (a) *reserve the land in accordance with the request, and*
 - (b) *include the land in a zone appropriate to its intended future use or a zone advised by the Director-General of the Department of Planning (or an officer of the Department nominated by the Director-General), and*
 - (c) *identify the relevant acquiring authority for the land.*
- (6) *When a Minister or public authority requests a relevant planning authority to include provisions in a planning proposal relating to the use of any land reserved for a public purpose before that land is acquired, the relevant planning authority must:*
 - (a) *include the requested provisions, or*

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General Manager

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PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
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- (b) *take such other action as advised by the Director-General of the Department of Planning (or an officer of the Department nominated by the Director-General) with respect to the use of the land before it is acquired.*
- (7) *When a Minister or public authority requests a relevant planning authority to include provisions in a planning proposal to rezone and/or remove a reservation of any land that is reserved for public purposes because the land is no longer designated by that public authority for acquisition, the relevant planning authority must rezone and/or remove the relevant reservation in accordance with the request.*

As per **Drawing TP05**, the site is to be zoned to R1 – General Residential. This is consistent with the zoning of land to the south-east.

Direction 6.3 – Site Specific Provisions

Ministerial Direction 6.3 – Site Specific Provisions applies to all Planning Proposals forwarded for Gateway Determination by a local authority.

To be compliant with Direction 6.3, a Planning Proposal must be consistent with the following provisions;

- “(a) *A planning proposal that will amend another environmental planning instrument in order to allow a particular development proposal to be carried out must either:*
- *Allow that land use to be carried out in the zone the land is situated on, or*
 - *Rezone the site to an existing zone already applying in the environmental planning instrument that allows that land use without imposing any development standards or requirements in addition to those already contained in that zone, or*
 - *Allow that land use on the relevant land without imposing any development standards or requirements in addition to those already contained in the principal environmental planning instrument being amended.*
- (b) *A planning proposal must not contain or refer to drawings that show details of the development proposal”.*

The parcel of land is currently zoned partly within R1 – General Residential, where the subdivision is permissible with consent, and partly within RU1 – Primary Production, where the minimum permissible lot size is 400 hectare. The rezoning of the RU1 – Primary Production would facilitate the objectives of the *Parkes Shire Council Land Use Strategy 2012* allowing this parcel of land to be developed for residential purposes.

The Planning Proposal does not propose to create any additional development standards in addition to those currently within the principal environmental planning instrument.

ENVIRONMENTAL, SOCIAL AND ECONOMIC IMPACTS

7. *Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?*

Unlikely, as per the ecological assessment, refer **Appendix A**.

8. *Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?*

No other likely environmental impacts, providing mitigation measures/recommendations are adhered to during any future construction.

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General Manager

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Mayor



PLANNING PROPOSAL
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9. How has the planning proposal adequately addressed any social and economic effects?

There are no known items or places of European or aboriginal cultural heritage on or in the vicinity of the site. Therefore it is not envisaged that this planning proposal will have any adverse impacts on such items.

The planning proposal would provide a supply of residential land on the north eastern side of Parkes which is in short supply. Thus, it is likely to result in downward pressure on land prices in this area of the town.

Further, during construction the development would provide for employment opportunities for local construction contractors and other consultants, which would in turn stimulate the local economy.

A Net Community Benefit assessment has been completed and as contained with **Table 3.1**; this assessment confirms that no adverse economic impacts are anticipated.

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PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Table 3.1 – Net Community Benefit Test

EVALUATION CRITERIA	COMMUNITY COSTS AND BENEFITS			
	BASE CASE – CURRENT SITUATION	PLANNING PROPOSAL	QUALITATIVE COMMUNITY BENEFIT PER CRITERIA	QUANTITATIVE COMMUNITY BENEFIT PER CRITERIA
Will the LEP be compatible with agreed State and regional strategic direction for development in the area (eg land release, strategic corridors)?	There are no State or regional strategic plans or directions that address Parkes. Council's adopted Land Use Strategy was adopted by Council in 2012. The strategy identifies the subject land being suitable for general residential land use. The Parkes Land Use Strategy has identified the subject site as a 'proposed residential area'. The proposed rezoning of the site for residential purposes would therefore follow the vision developed by Parkes Shire Council and the local community for urban residential expansion. Figure 2 identifies the subject land as appropriate for general residential use.	The LEP seeks to rezone the subject land from RU1 – Primary Production to R1 – General Residential	The qualitative benefits of the proposal are: <ul style="list-style-type: none"> The creation of additional residential land ensures adequate residential land supply for long term needs The increased supply of available residential land, improves the viability of the town 	No external cost to the community. Increased investment will be a benefit.
Is the LEP located in a global/regional city, strategic centre or corridor nominated within the Metropolitan Strategy or another regional/sub-regional strategy? Is the LEP likely to create a precedent or create or change the expectations of the landowner or other landholders?	Parkes is a regional hub, but is not identified in any Regional/Subregional study	The proposed LEP amendment applies to a 10.4 hectare portion of land that has been identified as being a logical and suitable expansion of urban area of Parkes. The land is physically bounded by Lorking Street to the west, urban development to the south, rural development to the north, and Danilenko Street to the east and these barriers minimise possible spread effects.	It would be difficult to establish a precedent from support for the LEP based on the characteristics of the proposal and the subject land. It is unlikely that expectations from other landowners, or the community at large, would be influenced by the LEP, due to its unique nature.	No external cost to the community

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PLANNING PROPOSAL
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Table 3.1 – Net Community Benefit Test

EVALUATION CRITERIA	COMMUNITY COSTS AND BENEFITS			
	BASE CASE – CURRENT SITUATION	PLANNING PROPOSAL	QUALITATIVE COMMUNITY BENEFIT PER CRITERIA	QUANTITATIVE COMMUNITY BENEFIT PER CRITERIA
Have the cumulative effects of other spot rezoning proposals in the locality been considered? What was the outcome of these considerations?	Parkes Shire Council released its comprehensive LEP in 2012. There are other proposed residential areas and future residential investigation areas that could cumulatively establish a pattern of change that requires consideration.	The proposed LEP has been prepared to address the owners development intentions and in response to the provisions of the Parkes LUS 2012.	No external cost to the community	No external cost to the community
Will the LEP facilitate a permanent employment generating activity or result in a loss of employment lands?	Employment lands are commonly defined as industrial or similar purposes areas. The land is currently zoned RU1 – Primary Production and is therefore not considered employment lands. The proposal seeks to provide additional residential land at the expense of rural primary production land. The planning proposal will no create a loss of employment lands.	The LEP seeks to provide additional residential lands. The LEP does not seek to remove any employment generating land uses from the land use table.	No external cost to the community	No external cost to the community
Will the LEP impact upon the supply of residential land and therefore housing supply and affordability?	The land is currently zoned RU1 and dwellings are permitted within the zone subject to the minimum lot size map, which identifies a minimum of 400 hectares in this area. The land is formed of one lot, with a size of less than 400 hectares and therefore no dwellings are currently permissible in the subject area. The proposed zone is R1 – General Residential with minimum lot size 600 square metres within which residential accommodation is permitted with consent. In terms of housing provision there is a positive change.	The planning proposal would increase the housing provision, with a conceptual subdivision layout providing approximately 90 lots for development.	Facilitating investment in construction or up to 90 residential dwellings as a result of the subdivision would, in turn, facilitate employment in the construction sector.	No external cost to the community

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Table 3.1 – Net Community Benefit Test

EVALUATION CRITERIA	COMMUNITY COSTS AND BENEFITS			
	BASE CASE – CURRENT SITUATION	PLANNING PROPOSAL	QUALITATIVE COMMUNITY BENEFIT PER CRITERIA	QUANTITATIVE COMMUNITY BENEFIT PER CRITERIA
Is the existing public infrastructure (roads, rail, utilities) capable of servicing the proposed site? Is there good pedestrian and cycling access? Is public transport currently available or is there infrastructure capacity to support future public transport?	Parkes Shire Council is the utilities authority and the area is served by sewer, water and power. A bus service is provided on Barton Street to the south of the site. This service travels past the site three (3) times per day, in addition to a school service which travels past in the morning and afternoon on a daily basis.	Cost of service provision would be borne by the developer. The development of the land would be staged to ensure a logical and cost effective provision of services.	An improved resource of residential land would improve the viability of the town.	No external cost to the community
Will the proposal result in changes to the car distances travelled by customers, employees and suppliers? If so, what are the likely impacts in terms of greenhouse gas emissions, operating costs and road safety?	The range of uses allowed by the current zone generates minimal car based travel demand.	The LEP would increase the range of uses permissible within the area.	By developing the area as a logical extension of the existing urban area of Parkes the likely increases to car distances travelled are considered negligible.	No external cost to the community
Are there significant Government investments in infrastructure or services in the area whose patronage will be affected by the proposal? If so, what is the expected impact?	Lorking Street and Danilenko Street bound the property to the west and east respectively.	The PP seeks to provide additional infrastructure, including additional road access to Barton Street, Lorking Street and Danilenko Street, which would give rise to increased traffic usage on the highway.	The increased provision of housing will benefit the town.	No external cost to the community
Will the proposal impact on land that the Government has identified a need to protect (eg land with high biodiversity values) or have other environmental impacts? Is the land constrained by environmental factors such as flooding?	An ecological assessment of the land was conducted in November 2013. The land is not unduly constrained by environmental factors.	The ecological assessment concludes that the land is suitable for the proposed use.	No external community benefits.	No external cost to the community
Will the LEP be compatible/complementary with surrounding land uses? What is the impact on amenity in the location and wider community? Will the public domain improve?	The land is bounded to the north, east and west by rural land currently zoned RU1 – Primary Production, and bounded to the south by existing urban development.	The LEP proposes a logical extension of the urban zone in a northerly direction. The natural edge effects created by Lorking Street to the west and Danilenko Street to the east ensure that the development would not 'creep' outside of the subject site.	Improved supply of accessible residential land.	No external cost to the community

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PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Table 3.1 – Net Community Benefit Test

EVALUATION CRITERIA	COMMUNITY COSTS AND BENEFITS			
	BASE CASE – CURRENT SITUATION	PLANNING PROPOSAL	QUALITATIVE COMMUNITY BENEFIT PER CRITERIA	QUANTITATIVE COMMUNITY BENEFIT PER CRITERIA
Will the proposal increase choice and competition by increasing the number of retail and commercial premises operating in the area?	No current commercial or retail land use.	The PP would not increase retail or commercial function through a greater supply of general residential land.	No external cost to the community	No external cost to the community
If a stand-alone proposal and not a centre, does the proposal have the potential to develop into a centre in the future?	Not relevant to this Planning Proposal.			No external cost to the community
What are the public interest reasons for preparing the draft plan? What are the implications of not proceeding at that time?	Residential development is not currently permissible in the zone.	Industry will be permissible via a change to the land use zone.	Public interest is best served by increasing supply of residential land as per the recommendations of the <i>Land Use Strategy</i> within the township before demand becomes problematic.	Potential external cost to community if LEP amendment does not proceed due to potential loss of residential opportunities noted above.
Net Community Benefit =			Positive	Positive

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PLANNING PROPOSAL
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STATE AND COMMONWEALTH INTERESTS

10. Is there adequate public infrastructure for the planning proposal?

Reference is made to **Drawings E02-E04**, which provide a concept servicing layout for the proposed subdivision. Each of the lots would be individually serviced by water, sewer, and stormwater mains in addition to the provision of electricity and telecommunications to each lot.

Road access to the development would be shared between Lorking, Danilenko, and Barton Streets to disperse the additional vehicle traffic across all three roads.

11. What are the views of State and Commonwealth public authorities consulted in accordance with the gateway determination?

The relevant State and Commonwealth public authorities would be consulted following the outcome of the gateway determination. Council would be responsible for carrying out this consultation in accordance with section 57 of the EP&A Act. Consultation would be undertaken with the following agencies:

- NSW Roads and Traffic Authority (RTA)
- NSW Office of Environment and Heritage
- NSW Department of Health
- NSW Department of Education and Training
- NSW Industry and Investment
- CSIRO (as operators of the Parkes Observatory)
- Civil Aviation Safety Authority (CASA)
- Telstra
- Country Energy
- AGL

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PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Part 4 – Mapping

GENERAL

As noted in Part 2, amendments are proposed to the *Parkes Local Environment Plan 2012* Land Use Zoning Map LZN_005D, and the corresponding Lot Size Map LSZ_005D. **Appendix C** provides details of required amendments to LEP mapping.

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PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

Part 5 - Community Consultation

TYPE OF COMMUNITY CONSULTATION REQUIRED

Section 5.5.2 of 'A Guide to Preparing Local Environmental Plans' identifies two different exhibition periods for community consultation;

- Low Impact Proposals – 14 days; and
- All other Planning Proposals (including any proposal to reclassify land) – 28 days.

The Guide describes Low Impact Proposals as having the following attributes;

- *A 'low' impact planning proposal is a planning proposal that, in the opinion of the person making the gateway determination, is;*
 - *Consistent with the pattern of surrounding land use zones and/or land uses;*

The proposed rezoning of part of the parcel of land to R1 – General Residential would be in accordance with zoning on the neighbouring allotments to the south, effectively allowing an extension of the Parkes residential area to the north. The rezoning is consistent with the general development pattern for Parkes and accords with the provisions of the Parkes LUS 2012.

- *Consistent with the strategic planning framework;*

Responses have been provided detailing the proposal's compliance with local and regional planning strategies, SEPPs, and ministerial directions. The development accords with the provisions of the Parkes LUS 2012.

- *Presents no issues with regard to infrastructure servicing;*

A extensive augmentation of existing services would be required to convert the area from a rural undeveloped area to a residential subdivision, however services are accessible in the area and are understood to have sufficient capacity for connection for the proposed development.

- *Not a principle LEP; and*

The Planning Proposal is not for a principle LEP.

- *Does not reclassify public land.*

The Planning Proposal does not seek to reclassify public land.

In accordance with the responses to the above points, the Planning Proposal is considered to be of low impact. It is therefore considered that a community consultation period of 14 days is applicable to the proposal in this instance.

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General Manager

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Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORKING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

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General Manager

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Drawings



General Manager



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PLANNING PROPOSAL

DANILENKO & LORKING STREET, PARKES KARINA WHITE

SCHEDULE OF DRAWINGS			
SHEET	TITLE	REV.	DATE
04B_TP01	TITLE SHEET, DRAWING LIST, AND SITE LOCALITY	A	04/04/2014
04B_TP02	SUBJECT SITE PLAN	A	04/04/2014
04B_TP03	AERIAL PHOTOGRAPH	A	04/04/2014
04B_TP04	EXISTING ZONING	A	04/04/2014
04B_TP05	PROPOSED ZONING	A	04/04/2014
04B_TP06	PROPOSED LOT LAYOUT	A	04/04/2014



SITE LOCALITY
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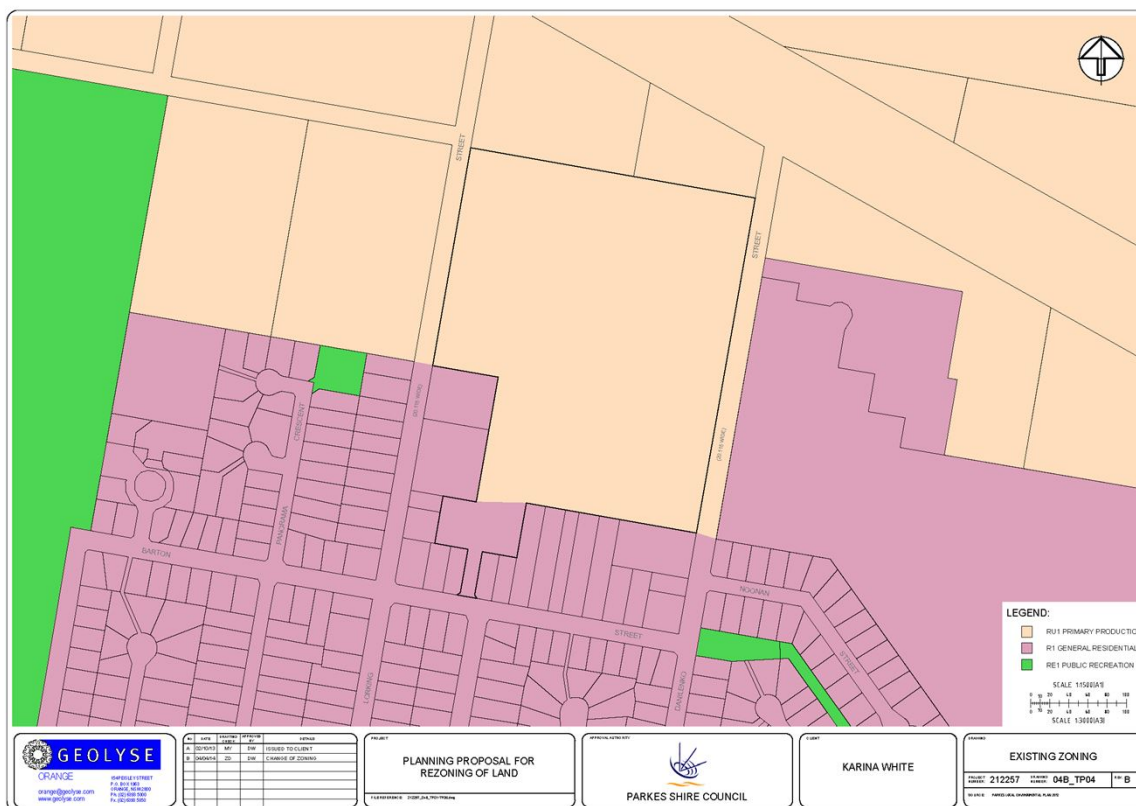
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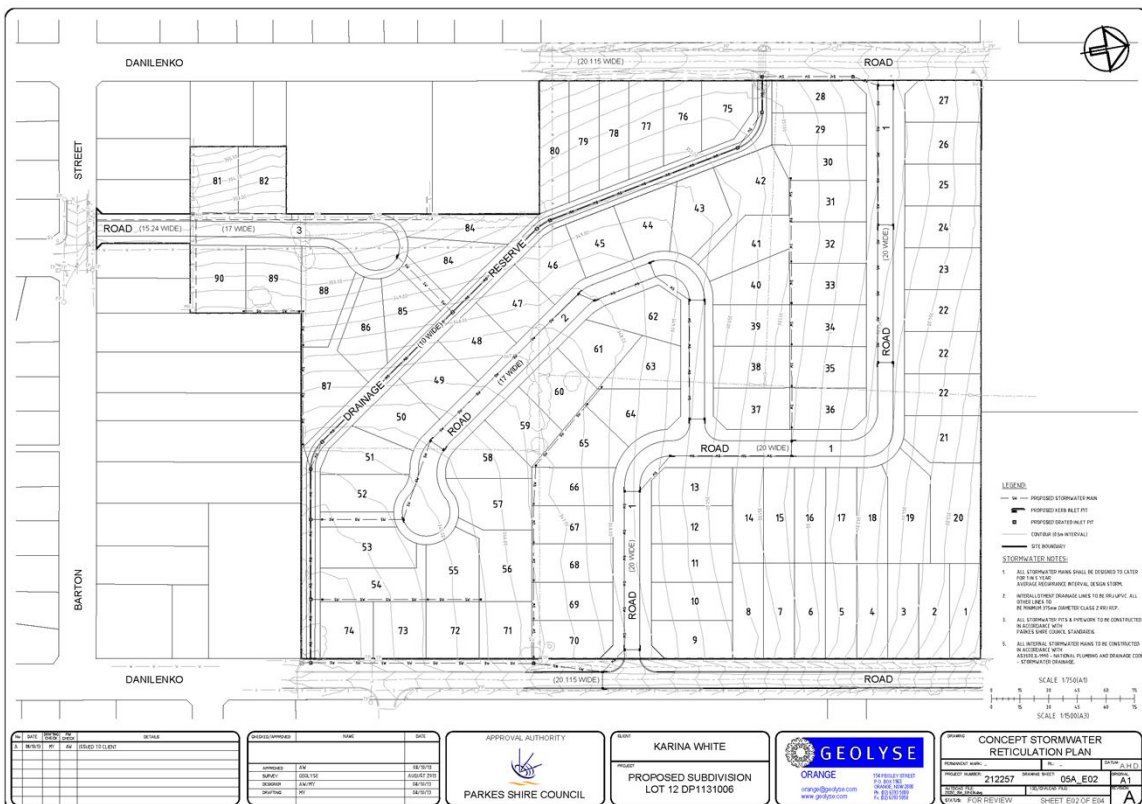
PROPOSED SUBDIVISION LOT 12 DP1131006 DANILENKO & LORKING STREET, PARKES KARINA WHITE ENGINEERING SERVICING STRATEGY PLANS

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05A_E02	CONCEPT STORMWATER RETICULATION PLAN	A	08/10/2013
05A_E03	CONCEPT SEWER RETICULATION PLAN	A	08/10/2013
05A_E04	CONCEPT WATER RETICULATION PLAN	A	08/10/2013



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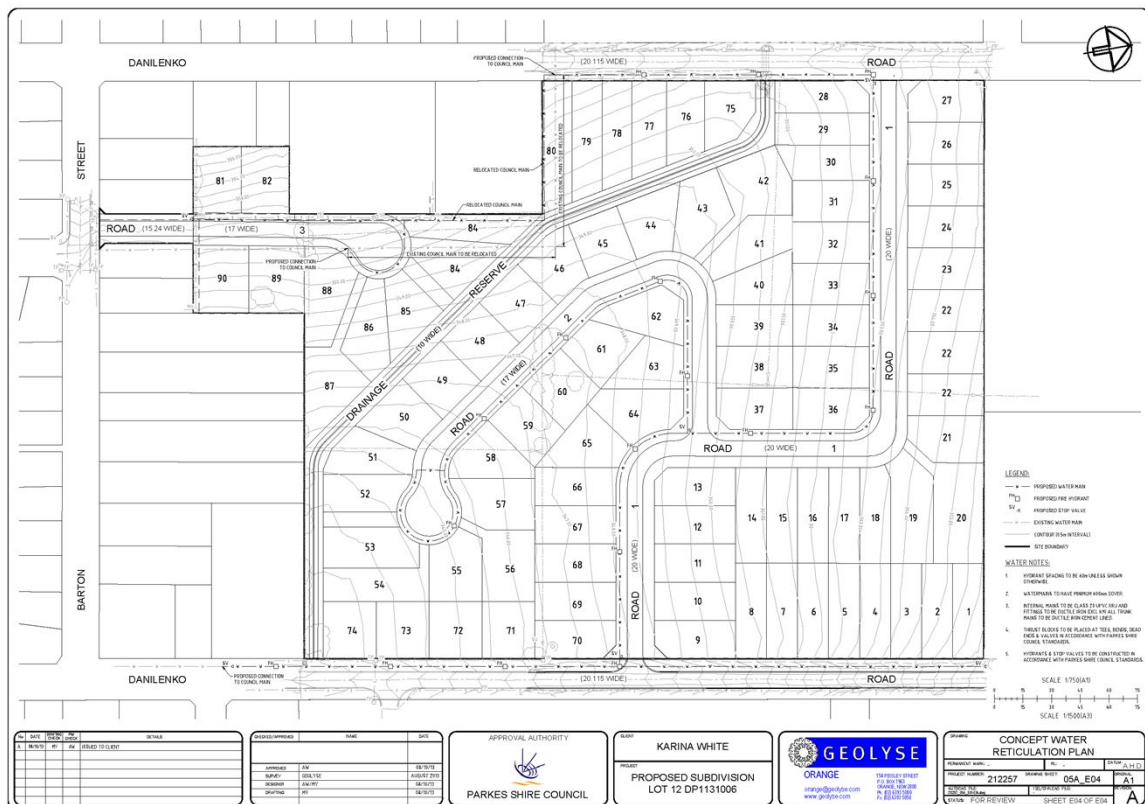


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Appendix A

ECOLOGICAL ASSESSMENT



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**PROPOSED SUBDIVISION BETWEEN LORKING
AND DANILENKO STREETS, PARKES, NSW**

BIODIVERSITY ASSESSMENT

**Prepared for
Karina White & Duane Sullivan**

by Colin C. Bower PhD

November 2013

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SUMMARY AND CONCLUSION

SURVEY FINDINGS

1. A flora and fauna survey was conducted on 29 October 2013 on approximately 10.5 ha of farmland proposed to be rezoned for residential use in the block bounded by Barton, Lorking and Danilenko Streets, Parkes.
2. The flora survey comprised five ground cover transects and a threatened species search across the whole study area. The fauna assessment involved opportunistic observations of birds, mammals, reptiles and frogs, searches for fauna tracks and traces and an appraisal of habitat quality.
3. Two vegetation types were identified on the study area and are described:
 - Exotic grassland/forbland
 - Tree and shrub plantings
4. The survey recorded a total of 70 flora species, of which 24 (34.3%) are native and 46 (65.7%) are introduced. A complete list of flora species and ratings of their abundance are given in Appendix A.
5. The main plant families represented are the Poaceae (Grasses) (20 species), Asteraceae (Daisies) (11 species) and the Faboideae (Pea flowers) (7 species).
6. Only one remnant native tree that is likely to have been part of, or descended from, the original vegetation on the study area remains, a large White Cypress Pine. It is not possible to say with certainty what the original vegetation communities were on the study area.
7. The transects showed that the ground cover flora is in 'low' condition, with an average cover by exotic species of 87.6 percent.
8. Six common native bird species, one introduced bird species and one introduced mammal species were recorded by the survey
9. One threatened flora species, the Wallangarra White Gum (*Eucalyptus scoparia*), occurs in a shelterbelt planting in the centre of the study area. This species is listed as Endangered under the NSW *Threatened Species Conservation Act 1995*, and as Vulnerable under the Commonwealth *Environment Protection and Biodiversity Conservation Act, 1999*.
10. No threatened fauna species or ecological communities were identified on the study area by the survey.

CONCLUSIONS

11. It is considered that conducting an assessment for significance of project impacts on biodiversity (Seven Part Tests) under s5A of the EP&A Act is not warranted owing to the highly disturbed nature of the study area and the lack of suitable habitat for any naturally occurring threatened biodiversity on the site, as follows;
 - The study area has been completely cleared of its original native vegetation.
 - The ground cover is in 'low' condition being comprised almost entirely of introduced species.
 - Intensive farming of the area for over 150 years has eliminated almost all of the original native flora species. Only a few grazing-tolerant native herb and grass species now occur there.

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- No threatened flora species, including the Silky Swainson-pea, was found on the study area and suitable habitat no longer exists for any threatened flora species.
 - No threatened fauna species were found on the study area and suitable habitat to support breeding populations of threatened fauna species is absent.
 - The study area has a low chance of occasionally being utilised as foraging habitat by wide-ranging threatened birds of prey (Spotted Harrier and Little Eagle) and by wintering Flame Robins. However, it is considered unlikely such species would utilise the area owing to its poor habitat quality and proximity to human habitation.
 - No threatened ecological communities occur on the study area.
 - One planted specimen of the threatened Wallangarra White Gum occurs on the study area. This species is widely planted through south eastern Australia as an ornamental tree. The removal of a single tree would have no impact on the conservation of wild populations of the species and, given the widespread nature of its ornamental plantings, would have no significant impact on the overall survival of the species.
12. It is concluded that there are no biodiversity constraints to subdivision of the study area for residential housing.



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INTRODUCTION

FloraSearch was commissioned by Karina White and Duane Sullivan to conduct a biodiversity survey and impact assessment for the site of a proposed subdivision north of Barton Street and between Lorking and Danilenko Streets, Parkes (Figure 1). This report presents field survey data obtained on the project site, and subjects it to an assessment of impact under Section 5a of the NSW *Environment Planning and Assessment Act 1979* (EP&A Act).

The objectives of the surveys and report are to:

- Determine the threatened species, populations, ecological communities and critical habitat, listed under the NSW *Threatened Species Conservation Act, 1995* (TSC Act) and the Commonwealth *Environment Protection and Biodiversity Conservation Act, 1999* (EPBC Act) that may potentially occur on the study area from a review of relevant databases and previous literature.
- Document the flora and fauna on the study area.
- Conduct searches for extant threatened flora and fauna species, populations, ecological communities and critical habitats, and identification of potential habitats for them, if any.
- Map the distribution of vegetation types identified by the survey and the locations of any threatened biodiversity.
- Provide lists of flora and fauna species observed on the study area.
- Assess the likely impacts of development on threatened flora, populations, ecological communities and critical habitat, if any occur or have potential to occur on the study area, in accordance with Section 5a of the EP&A Act and the *Threatened Species Assessment Guidelines* (DECC, 2007).

STUDY AREA

The study area is on the northern outskirts of Parkes, NSW. It is an irregularly shaped block fronting Lorking and Danilenko Streets with an access laneway running north from Barton Street (Figure 1). The block comprises six small grazing paddocks totalling approximately 10.5 ha. The study area is bounded by two large residential blocks in the north and smaller residential blocks of various sizes in the south, where there is also a bus company depot.

The study area is currently used for grazing sheep.

TOPOGRAPHY AND DRAINAGE

The study area is relatively flat with a drainage line running diagonally across the block from the centre of the Lorking Street boundary to the south western corner on Danilenko Street. The terrain slopes gently on either side of the drainage line. The highest elevations on the study area are 358 m AHD in the north eastern corner and in the south western corner of the southernmost paddock. The lowest elevation of 344 m AHD is on the drainage line in the south western corner adjacent to Danilenko Street. There are no permanent watercourses on the study area.



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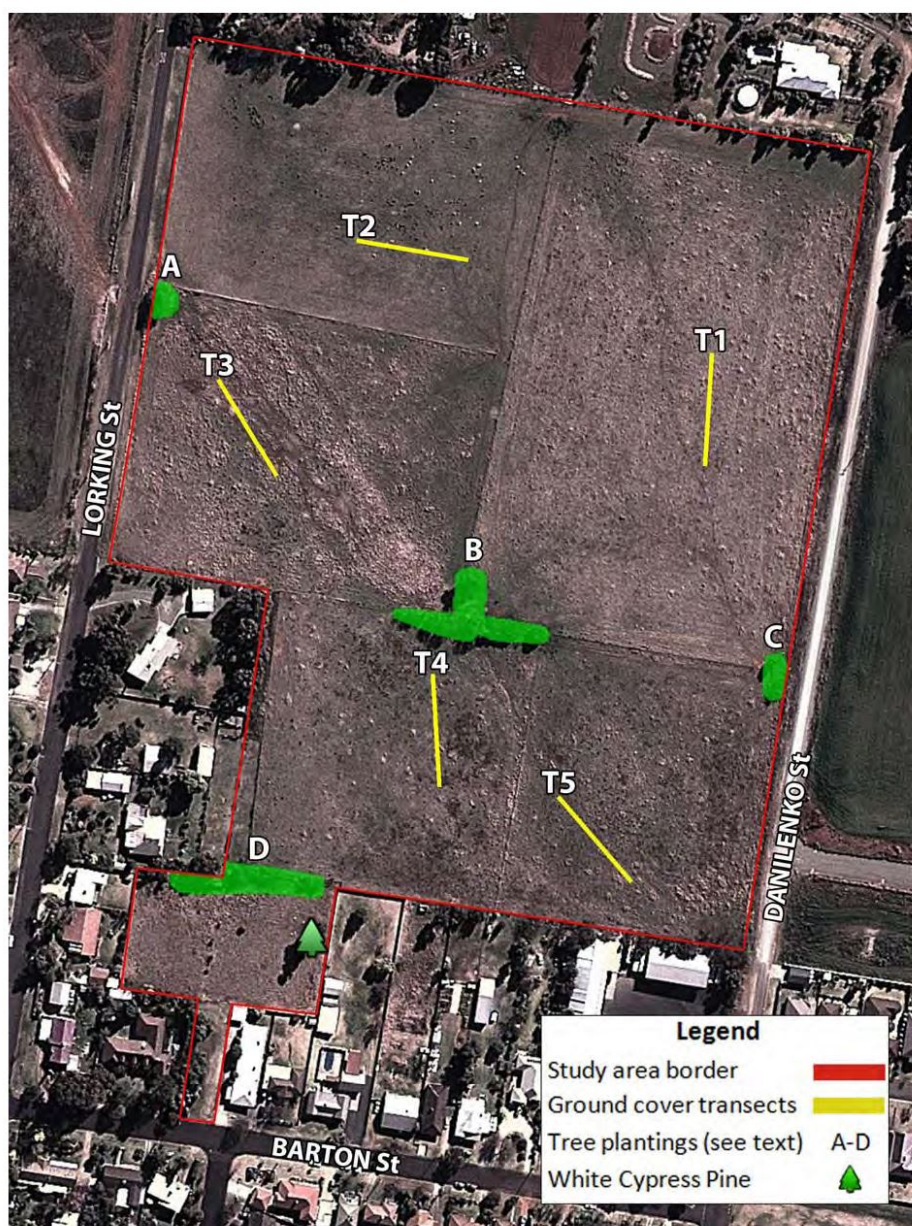


Figure 1. The Study Area showing the locations of sample transects, tree plantings and a remnant White Cypress Pine.
[Image: Google Earth®]

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GEOLOGY AND SOILS

The study area is underlain by the Ordovician age sedimentary Cotton Formation which is dominated by well-bedded laminated siltstones and chert with minor sandstone (Sherwin 2000). The Cotton Formation gives rise in part to the Parkes Soil Landscape (King 1998), whose soil types include Red Earths on upper slopes, Red Podzolic Soils and Non-calcic Brown Soils on lower slopes with Brown Solodic Soils along drainage lines.

BOTANICAL AND BIOGEOGRAPHICAL REGIONS

The study area lies in the centre north of the South Western Slopes Bioregion (Thackway and Cresswell, 1995) and in the centre of the Central Western Slopes Botanical Division (Anderson, 1961).

CLIMATE

The climate of the study area is subhumid with hot summers and no dry season (Sahukar *et al.* 2003). The nearest official long-running meteorological station at a similar altitude to the study area is the Macarthur Street, Parkes, Bureau of Meteorology (BOM) Station 065026 (324 m AHD), which ran from 1889 to 2012. The mean daily maximum temperatures vary from 14.0 degrees Celsius (°C) in July to 32.3°C in January (BOM, 2013). The corresponding mean daily minimum temperatures vary from 4.0°C in July to 17.9°C in January (BOM, 2013). Frosts may be common in winter. Average annual rainfall is 587.5 mm and is spread fairly evenly through the year with slight summer dominance (BOM, 2013). The lowest rainfall tends to occur in April with an average of 41.4 mm (BOM, 2013). The highest average rainfall is in January (57.6 mm), followed by December (53.0 mm) (BOM, 2013).

PREVIOUS FLORA AND FAUNA STUDIES

Previous vegetation and fauna studies around the Parkes region include:

- A comprehensive popular compilation of the flora and fauna of Parkes Shire was published by the Parkes Naturalist Group (Schrader, 1987) for the Bicentennial in 1988.
- Sivertsen and Metcalfe (1995) surveyed the natural vegetation of the Cargelligo 1:250 000 Map Sheet which includes the Parkes area. They concluded that 84 percent of the original native vegetation had been cleared on the map sheet and that the remainder was in danger of being substantially lost or degraded through further clearing, grazing and fragmentation.
- A CSIRO Division of Wildlife and Ecology study of the native vegetation of the central Lachlan River catchment (Austin *et al.* 2000) used predictive modelling to determine the pre-European vegetation distribution and estimated the amounts of each vegetation type that had been lost since white settlement. Among its conclusions this study found that nine vegetation alliances had less than 10 percent of their original vegetation remaining, much of the remaining vegetation is in poor condition, and some communities, such as Box-Gum Woodlands, have less than one percent of their original area remaining in good condition.
- The NSW Department of Environment and Conservation (2006) used existing data sources to map the extant vegetation of the Lachlan Valley and to reconstruct the original vegetation distribution for the Lachlan Catchment Management Authority (CMA) area. It was estimated that around 40 percent of the Lachlan CMA is currently vegetated to some degree and 60 percent has been cleared. There are an estimated eight vegetation types with less than 1,000 ha of their reconstructed extent remaining, 24 with less than 30 percent remaining, 16 with between 30 and 70 percent remaining, and 18 with more than 70 percent of their reconstructed extent existing today (DEC, 2006).



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THREATENED FLORA AND FAUNA

Lists of threatened species, populations, ecological communities and critical habitat that are known, or have potential to occur on the study area were derived by consulting the following sources. The following databases were searched within a 20 × 20 km square centred on the study area (accessed October 2013);

- BioNet website incorporating searches of the databases of the Atlas of NSW Wildlife, Royal Botanic Gardens and Domain Trust, Forests NSW and the Australian Museum (BioNet 2013).
- Commonwealth Protected Matters Search Tool (SEWPaC 2013a)
- Schedules of the TSC Act and the EPBC Act.
- Preliminary and Final Determinations of the NSW Scientific Committee (2013).

Endangered Ecological Communities

Two endangered ecological communities listed in the schedules of the NSW *Threatened Species Conservation Act 1995*, are considered to have potential to occur on the study area (Table 1), viz:

- *White Box Yellow Box Blakely's Red Gum Woodland Endangered Ecological Community*. [The community is also listed under the Commonwealth *Environmental Protection and Biodiversity Conservation Act 1999* as the *White Box-Yellow Box-Blakely's Red Gum grassy woodlands and derived native grasslands Critically Endangered Ecological Community*.]
- *Inland Grey Box Woodland in the Riverina, NSW South Western Slopes, Cobar Peneplain, Nandewar and Brigalow Belt South Bioregions Endangered Ecological Community*. [The community is also listed under the Commonwealth EPBC Act as the *Grey Box (Eucalyptus microcarpa) Grassy Woodlands and Derived Native Grasslands of Eastern Australia Endangered Ecological Community*.]



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Table 1. Threatened Plant Communities Returned by Database Searches of the Region Around the Study Area

Community name		Conservation Status		Known Distribution	Potential Habitats	Likelihood of Occurrence
TSC Act ¹	EPBC Act ²	TSC Act ¹	EPBC Act ²			
Fuzzy Box on alluvials of the South West Slopes, Darling Riverine Plains and the Brigalow Belt South Bioregions	-	E	-	Mainly in the Dubbo-Narramine-Parkes-Forbes area (OEH, 2013a).	Occurs on brown loam or clay, alluvial or colluvial soils on prior streams and abandoned channels or slight depressions on undulating plains or flats of the western slopes. It also occurs on colluvial soils on lower slopes and valley flats (OEH, 2013a).	Nil (Study area is not located on or near alluvial soil types)
Inland Grey Box Woodland in the Riverina, NSW South Western Slopes, Cobarr Penneplain, Nandewar and Brigalow Belt South Bioregions (Inland Grey Box Woodland)	Grey Box (<i>Eucalyptus microcarpa</i>) Grassy Woodlands and Derived Native Grasslands of Eastern Australia (equivalent to Inland Grey Box Woodland)	E	E	Lower western slopes and plains from the Victorian border to Queensland (OEH, 2013a). At a Commonwealth level it also occurs in Victoria and South Australia (SEWPaC, 2013b).	Inland Grey Box Woodland occurs on fertile soils of the western slopes and plains of NSW (OEH, 2013a). It often occurs on productive soils derived from alluvial or colluvial materials but may occur on a range of other substrates (SEWPaC, 2013b).	High (Study area is within the known distribution of the community)
Mallee and Mallee-Broombush dominated woodland and shrubland, lacking Triodia, in the NSW South Western Slopes Bioregion	-	E	-	A region of less than 4000 km ² bounded by Lake Cowal - Temora - Ardethan - Ungarie within the local government areas of Bland and Temora (OEH, 2013a).	Three forms of the community occupy a wide range of soil types and topography from plains to rocky hills on a variety of substrates (OEH, 2013a).	Nil (This community is not known to occur close to the study area)
Myall Woodland in the Darling Riverine Plains, Brigalow Belt South, Cobarr Penneplain, Murray Darling Depression, Riverina and NSW South western Slopes Bioregions	Weeping Myall Woodlands	E	E	Scattered across the eastern parts of the alluvial plains of the Murray-Darling river system (OEH, 2013a) on the NSW western slopes and plains.	Occurs on red-brown earths and heavy textured grey and brown alluvial soils (OEH, 2013a) that become waterlogged in winter.	Nil (The study area soils are colluvial rather than alluvial)
White Box, Yellow Box, Blakely's Red Gum Woodland (Box-Gum Woodland)	White Box-Yellow Box-Blakely's Red Gum Grassy Woodland and Derived Native Grasslands (equivalent to Box-Gum Woodland)	E	CE	Occurs mainly on the tablelands and western slopes of NSW (OEH, 2013a).	Generally occurs on fertile lower parts of the landscape where resources such as water and nutrients are abundant.	High (The study area is within the known distribution of this community)

¹ Threatened Ecological Community status under NSW TSC Act (current to October 2013).

² Threatened Ecological Community status under Commonwealth EPBC Act (current to October 2013).

E – Endangered; CE – Critically Endangered.



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Threatened Flora Species

Database searches returned seven threatened flora species known or considered likely to occur in the region around the study area (Table 2). The distribution and habitats of each species was determined from the PlantNet website (Royal Botanic Gardens and Domain Trust Sydney 2013), NSW Office of Environment and Heritage (OEH) Threatened Species Profiles (OEH 2013a), Commonwealth Department of Sustainability Environment Water Population and Communities (SEWPaC) listing and conservation advices (SEWPaC 2013) and specialist publications. The habitats and/or substrate requirements of six of the species are absent from the study area (Table 2). Accordingly, they are not considered further here. One species is considered likely to have formerly occurred on the study area based on its known distribution and habitats, the Silky Swainson-pea, *Swainsona sericea*. This species was specifically targeted during the survey conducted for this study.

Endangered Flora Populations

Twenty five plant populations are listed as endangered under the NSW *Threatened Species Conservation Act 1995*, as at October 2013 (OEH, 2013a). None are applicable to the study area.

Critical Flora Habitat

No Critical Habitat for flora has been declared on or near the study area under the TSC Act (OEH, 2013b) or the EPBC Act (SEWPaC, 2013c).



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Table 2. Threatened Plant Species that may Potentially Occur on the Study Area

Family Name	Scientific Name	Status		Habitat	Distribution	Likelihood of Occurrence
		TSC Act ¹	EPBC Act ²			
Apocynaceae	<i>Tylophora linearis</i>	V	E	Grows in dry scrub and open forest. Recorded from low-altitude sedimentary flats in dry woodlands of <i>Eucalyptus fibrosa</i> , <i>Eucalyptus sideroxylon</i> , <i>Eucalyptus albens</i> , <i>Callitris endlicheri</i> , <i>Callitris glaucophylla</i> and <i>Allocasuarina luehmianii</i> (OEH, 2013a). On coarse-grained sediments.	Distributed to the north east of the study area from the Pilliga Scrub to Peak Hill and Dubbo.	Nil (Known communities and soils absent from study area)
Fabaceae	<i>Swainsona murrayana</i>	V	V	Occurs on flat inland floodplains and depressions on clay-based soils, ranging from grey, red and brown cracking clays to red-brown earths and loams (OEH, 2013a).	Occurs principally on the NSW South West Plains (PlantNet, 2013). There is one record south west of Forbes beside the Newell Highway and several in the West Wyalong-Quandialla area. There are no records close to Parkes.	Nil (Habitat absent from study area)
	<i>Swainsona sericea</i>	V	-	Found in a wide range of habitats including Box-Gum Woodlands and cypress-pines <i>Callitris</i> spp. (OEH 2013a).	Recorded from the Northern Tablelands to the Southern Tablelands and further inland on the slopes and plains (OEH 2013a).	Moderate (Is likely to have formerly occurred on the study area.)
Poaceae	<i>Austrostipa metatoris</i>		V	Grows in sandy areas of the Murray Valley; habitats include sandhills, sandridges, undulating plains and flat open mallee country, with red to red-brown clay-loam to sandy-loam soils.	Most records occur in the Murray Valley. Also occurs in central NSW including Lake Cargelligo, east of Goolgowi, Condobolin and south west of Nymagee.	Nil (Soils and habitats absent from the study area.)
	<i>Austrostipa wakoolica</i>	E	E	Grows on floodplains of the Murray River tributaries, in open woodland on grey, silty clay or sandy loam soils; habitats include the edges of a lignum swamp; creek banks in grey, silty clay; open Cypress Pine forest on low sandy range; and a low, rocky rise (OEH 2013a).	Confined to the floodplains of the Murray River tributaries of central-western and south-western NSW. Not known close to Parkes; occurs in the Marsden to West Wyalong area south west of Forbes.	Nil (Main habitats and substrates are absent from the study area.)
	<i>Bethriochloa biloba</i>	-	V	Grows in cleared eucalypt forests and relict grassland, on heavier-textured soils such as brown or black clays (SEWPaC, 2013b).	Lobed Blue-grass is known from the Darling Downs district in Queensland, south along the western slopes of the Great Dividing Range to Dubbo, Merriwa and the Upper Hunter Valley in NSW (SEWPaC, 2013b).	Nil (Heavy clay soils are absent on the study area.)
Rutaceae	<i>Philotheca ericifolia</i>	-	V	Habitats include heath, open woodland, dry sandy creek beds, and rocky ridge and cliff tops (SEWPaC, 2013b). Tends to occur on coarse-grained sediments.	Occurs from the upper Hunter Valley and Pilliga to the Peak Hill, Dubbo and West Wyalong districts of NSW.	Nil (lack of suitable soils and habitat)

¹ Threatened species status under the NSW TSC Act, (current to October 2013).

² Threatened species status under the Commonwealth EPBC Act, (current to October 2013).
E - Endangered; V - Vulnerable.

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Threatened Fauna Species

The database searches returned 39 threatened fauna species with potential to occur on the study area based on observational records in the surrounding region (Table 3). Threatened fauna species known to occur in the region included two fish, one reptile, 29 birds and seven mammals.

The literature on each of these species was consulted to determine whether their habitat requirements are matched by the resources on the study area. For most species important habitat factors essential to their survival are missing from the study area (Table 3). Accordingly, it is considered that 26 species have a nil likelihood of occurring on the study area owing to a lack of essential resources. Three wide ranging predatory, nomadic or migratory species are considered to have a low potential to occur. They are species whose breeding requirements are lacking on the study area, although at times they may be able to forage there for food. These are the Spotted Harrier, the Little Eagle (*Hieraaetus morphnoides*) and the Flame Robin (*Petroica phoenicea*).

The 3 threatened fauna species identified in Table 3 as having some potential to utilise the study area were targeted in field surveys of the site. The potential impacts on the 3 species of developing the study area are considered below in the impact assessment section of this report.

Endangered Fauna Populations

Twenty animal populations are listed as endangered under the NSW *Threatened Species Conservation Act 1995*, as at October 2013 (OEH, 2013a). None are applicable to the study area.

Critical Fauna Habitat

No Critical Habitat for flora has been declared on or near the study area under the TSC Act (OEH, 2013b) or the EPBC Act (SEWPaC, 2013c).



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Table 3. Threatened Fauna Species Returned by Database Searches of the Surrounding Region

Class	Family Name	Scientific Name	Common Name	Conservation Status		Likelihood to be on Study Area	Justification
				TSC Act ¹	EPBC Act ²		
Actinopterygii (ray-finned fishes)	Percichthyidae	<i>Maccullochella macquariensis</i>	Trout Cod	E	E	Nil	The two fish species listed here only occur in large permanent rivers with deep waterholes (SEWPaC, 2013b). Such habitat does not occur on the study area.
		<i>Maccullochella peelii</i>	Murray Cod	-	V	Nil	
Reptilia (reptiles)	Pygopodidae	<i>Aprasia parapulchella</i>	Pink-tailed Legless Lizard	V	V	Nil	The Pink-tailed Legless Lizard inhabits sloping, open woodland areas with predominantly native grassy ground layers, particularly those dominated by Kangaroo Grass (<i>Themeda australis</i>). Sites are typically well-drained, with rocky outcrops or scattered, partially-buried rocks (OEH, 2013a). Similar habitat does not occur on the study area.
Aves (birds)	Megapodiidae	<i>Leipoa ocellata</i>	Mallee Fowl	E	V	Nil	Mallee Fowl are found in semi-arid to arid shrublands and low woodlands, especially those dominated by mallee and/or acacias. A sandy substrate and abundance of leaf litter are required for breeding (Benschmeh, 2007). Suitable habitat is absent from the study area and surrounds.
	Anatidae	<i>Stictonetta naevosa</i>	Freckled Duck	V	-	Nil	The Freckled Duck breeds in large temporary swamps created by floods in the Bulloo and Lake Eyre basins and the Murray-Darling system, particularly along the Paroo and Lachlan Rivers, and other rivers within the Riverina. It prefers permanent freshwater swamps and creeks with heavy growth of Cumbungi, Lignum or Tea-tree. During drier times it moves from ephemeral breeding swamps to more permanent waters such as lakes, reservoirs, farm dams and sewage ponds. Known to occur sporadically at the Parkes Sewage Farm. Suitable habitat is absent from the study area.
	Ardeidae	<i>Botaurus poeciloptilus</i>	Australasian Bittern		E	Nil	Australasian Bitterns are widespread but uncommon over south-eastern Australia. In NSW they may be found over most of the state except for the far north-west. They favour permanent freshwater wetlands with tall, dense vegetation, particularly bullrushes (<i>Typha</i> spp.) and spikerushes (<i>Eleocharis</i> spp.). Suitable habitat is absent from the study area.
	Accipitridae	<i>Circus assimilis</i>	Spotted Harrier	V	-	Low	The Spotted Harrier occurs in grassy open woodland including Acacia and mallee remnants, inland riparian woodland, grassland and shrub steppe. It is found most commonly in native grassland, but also occurs in agricultural land, foraging over open habitats (OEH, 2013a). It may potentially forage over the grazing paddocks on the study area.
	<i>Hieraaetus morphnoides</i>	Little Eagle	V	-	Low	Little Eagle occurs throughout NSW and soars over open country looking for prey (Blakers et al., 1984). There are several records in the region around Parkes in BioNet (2013). It is likely to hunt over the grazing paddocks on the study area.	

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Class	Family Name	Scientific Name	Common Name	Conservation Status		Likelihood to be on Study Area	Justification
				TSC Act ¹	EPBC Act ²		
Aves (birds) cont.	Falconidae	<i>Falco hypoleucos</i>	Grey Falcon	E		Nil	The Grey Falcon is sparsely distributed in NSW, chiefly throughout the Murray-Darling Basin (OEH 2013a). Usually restricted to shrubland, grassland and wooded watercourses of arid and semi-arid regions, although it is occasionally found in open woodlands. Usually nests high in a living eucalypt near water or a watercourse. There are two historic records in the Parkes area (BioNet 2013). Suitable nesting habitat is absent from the study area.
		<i>Falco subniger</i>	Black Falcon	V	-	Nil	Black Falcons occur primarily along inland watercourses and forage for bird prey in eucalypt woodland (Blakers et al. 1984). There is one record near Parkes. A low potential exists for this species to forage in wooded parts of the study area.
	Burhinidae	<i>Burhinus grallarius</i>	Bush Stone-curlew	E	-	Nil	Inhabits open forests and woodlands with a sparse grassy ground layer and fallen timber (OEH 2013a). Suitable habitat is absent from the study area.
	Rostratulidae	<i>Rostratula australis</i>	Australian Painted Snipe	E	E	Nil	Prefers fringes of swamps, dams and nearby marshy areas where there is a cover of grasses, lignum, low scrub or open timber (OEH 2013a). Suitable habitat is absent from the study area.
	Scolopacidae	<i>Calidris ferruginea</i>	Curlew Sandpiper	E	-	Nil	The Curlew Sandpiper is a migratory species distributed around most of the coastline of Australia, and sometimes in freshwater wetlands in the Murray-Darling Basin. It generally occupies littoral and estuarine habitats such as intertidal mudflats. It also occurs in non-tidal swamps, lakes and lagoons on the coast and sometimes the inland. There are records for the Parkes Sewage Farm. There is no habitat for this species on the study area.
		<i>Limosa limosa</i>	Black-tailed Godwit	V	-	Nil	The Black-tailed Godwit is a migratory wading bird that mainly occurs on the coast, usually in sheltered bays, estuaries and lagoons with large intertidal mudflats and/or sandflats (OEH 2013a). Further inland, it can be found on mudflats, in water less than 10 cm deep, around muddy lakes and swamps. It has been recorded at the Parkes Sewage Farm (BioNet 2013). Suitable habitat is absent from the study area.
	Psittacidae	<i>Glossopsitta pusilla</i>	Little Lorikeet	V	-	Nil	The Little Lorikeet is a nomadic nectar feeding species that is regularly recorded in bushland around Parkes (BioNet, 2013). It can be expected to occur on the study area when eucalypts are in flower.
		<i>Lathamus discolor</i>	Swift Parrot	E	E	Nil	The Swift Parrot is a migratory species that breeds in Tasmania and winters on the mainland, where it feeds on flowering eucalypts (OEH, 2013a). There are multiple records in bushland areas south east of Parkes (BioNet, 2013), probably related to feeding on Mugga Ironbarks. It may potentially feed on flowering White Box trees on the study area.

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Class	Family Name	Scientific Name	Common Name	Conservation Status		Likelihood to be on Study Area	Justification
				TSC Act ¹	EPBC Act ²		
Aves (birds) cont.	Psittacidae cont.	<i>Polytelis swainsonii</i>	Superb Parrot	V	V	Nil	The Superb Parrot occurs in tall woodlands and forests west of the Tablelands (Blakers <i>et al.</i> , 1984). There are multiple records of the species close to Parkes. There are old growth eucalypt trees with hollow limbs on the study area that may potentially provide nesting habitat for this species.
		<i>Neophema pulchella</i>	Turquoise Parrot	V	-	Nil	Lives on the edges of relatively undisturbed eucalypt woodland adjoining clearings, timbered ridges and creeks in farmland. There are no records in BioNet (2013) close to Parkes, although a population is known in Back Yamma State Forest, south of Parkes. Suitable habitat is absent from the study area.
	Strigidae	<i>Ninox connivens</i>	Barking Owl	V	-	Nil	The Barking Owl occurs in eucalypt woodland and is widespread in eastern NSW. It is known to occur in the region around Parkes (BioNet, 2013). Requires very large foraging areas (2000+ ha) and large trees for roosting and nesting (OEH, 2013a). The study area lacks breeding or foraging habitat.
	Climacteridae	<i>Climacteris picumnus victoriae</i>	Brown Treecreeper (eastern subspecies)	V	-	Nil	The Brown Treecreeper is widespread in bushland remnants with old growth trees around Parkes (BioNet, 2013). It inhabits grassy woodlands with rough-barked trees at close to natural densities, sparse shrub cover and fallen timber on the ground (OEH, 2013a). Suitable habitat does not occur on the study area.
	Acanthizidae	<i>Pyrholaemus sagittata</i>	Speckled Warbler	V	-	Nil	A sedentary species of natural relatively undisturbed open woodland on rocky ridges or in gullies (OEH, 2013a). Recorded sparsely but widely in the surrounding region in larger blocks of remnant woodland, including on the outskirts of Parkes (BioNet, 2013). Suitable habitat is lacking on the study area.
	Meliphagidae	<i>Certhionyx variegatus</i>	Pied Honeyeater	V	-	Nil	A nomadic species of the arid zone, inhabiting wattle shrub, primarily Mulga, mallee, spinifex and eucalypt woodlands, usually when shrubs are flowering; feeds on nectar, predominantly from various species of emu-bushes, mistletoes and other shrubs; also eats saltbush fruit, berries, seed, flowers and insects. Suitable resources are absent from the study area for this species.
		<i>Anthochaera phrygia</i>	Regent Honeyeater	E	E	Nil	A nomadic nectar-dependent species found in flowering eucalypts (OEH, 2013a), which has been recorded rarely in the region to the south of the study area (Back Yamma State Forest) (BioNet, 2013). Suitable habitat is absent from the study area.
		<i>Ephianura albifrons</i>	White-fronted Chat	V	-	Nil	There is one record for the White-fronted Chat in the Parkes area at the sewage works (BioNet, 2013). The preferred habitat is wet grasslands or marshes (OEH, 2013a), of which there are none on the study area.

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Class	Family Name	Scientific Name	Common Name	Conservation Status		Likelihood to be on Study Area	Justification
				TSC Act ¹	EPBC Act ²		
Aves (birds) cont.	Meliphagidae cont.	<i>Melithreptus gularis</i>	Black-chinned Honeyeater	V	-	Nil	The Black-chinned Honeyeater is occasionally observed in bushland areas to the south (Back Yamma State Forest) and south east of Parkes (Cookamidgera State Forest) (BioNet, 2013). It requires relatively large feeding areas and tends to occur mainly in larger bushland remnants (OEH, 2013a). Suitable mature woodland habitat is absent from the study area.
	Pomatostomidae	<i>Pomatostomus temporalis temporalis</i>	Grey-crowned Babbler (eastern subspecies)	V	-	Nil	The Grey-crowned Babbler is relatively common in the Parkes region (BioNet, 2013). It prefers open Box-Gum Woodlands on the slopes, and Box-Cypress-pine and open Box Woodlands on alluvial plains, all with dense low trees below the canopy (OEH, 2013a). Suitable habitat does not occur on the study area.
	Neosittidae	<i>Daphoenositta chrysoptera</i>	Varied Sittella	V	-	Nil	The Varied Sittella is a bird of woodlands and open forests, usually with rough-barked eucalypts (OEH, 2013a). Sporadically recorded in the Parkes region (BioNet, 2013), but confined to remnant woodlands with mature trees. Habitat is absent from the study area.
	Pachycephalidae	<i>Pachycephala inornata</i>	Gilbert's Whistler	V	-	Nil	The Gilbert's Whistler occurs in a range of habitats, though the shared feature appears to be a dense shrub layer. It is widely recorded in mallee shrublands, but also occurs in box-ironbark woodlands, Cypress Pine and Belah woodlands and River Red Gum forests. The nearest known population to Parkes is in Back Yamma State Forest (BioNet 2013). Suitable habitat is absent from the study area.
	Petroicidae	<i>Melanodryas cucullata</i>	Hooded Robin	V	-	Nil	The Hooded Robin occurs sparingly in the Parkes region (BioNet, 2013). It favours open eucalypt woodlands with saplings, shrubs and native grasses (OEH, 2013a). It has been recorded from State Forests west and south of Parkes. Suitable habitat is absent on the study area.
		<i>Petroica boodang</i>	Scarlet Robin	V	-	Nil	The Scarlet Robin inhabits dry eucalypt forests and woodlands with an open grassy understorey, having few shrubs, but abundant logs and fallen timber (OEH 2013a). It breeds on ridges, hills and foothills of the western slopes, the Great Dividing Range and eastern coastal regions. Although primarily a resident in forests and woodlands, some adults and young birds disperse in autumn and winter to more open habitats; such as open grassy woodlands, grasslands or grazed paddocks with scattered trees. There is one record of this species in the Parkes region (Back Yamma State Forest) (BioNet 2013). Breeding habitat is absent on the study area, but it may be utilised occasionally by dispersing individuals.
		<i>Petroica phoenicea</i>	Flame Robin	V	-	Low	Breeds in tall moist eucalypt forests and woodlands in upland areas (OEH 2013a). In winter, many birds move to the inland slopes and plains to drier more open habitats in the lowlands, where it utilises dry forests, open woodlands, pastures and native grasslands, with or without scattered trees. There are multiple records of the Flame Robin in the Parkes region (BioNet 2013). Although it would not be able to breed on the study area, it may visit occasionally in winter to forage.

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Class	Family Name	Scientific Name	Common Name	Conservation Status		Likelihood to be on Study Area	Justification
				TSC Act ¹	EPBC Act ²		
Aves (birds) cont.	Estrildidae	<i>Stagonopleura guttata</i>	Diamond Firetail	V	-	Nil	Widespread in open forest and woodland mostly on the inland side of the Great Dividing Range in eastern NSW (Blakers <i>et al.</i> , 1984). Recorded regularly in open native woodland or semi-cleared land around Parkes (BioNet, 2013). It has limited potential to occur on the study area owing to its highly cleared condition and lack of native ground cover diversity.
Mammalia (mammals)	Dasyuridae	<i>Dasyurus maculatus</i>	Spotted-tailed Quoll	V	E	Nil	There are no records of the Spotted-tailed Quoll close to Parkes, although there is one record from 2004 in the Cookamidgera area (BioNet 2013). Individual animals require hollow-bearing trees, fallen logs, small caves, rock crevices, boulder fields and rocky-cliff faces as den sites (OEH, 2013a). Den resources are lacking on the study area.
	Phascolarctidae	<i>Phascolarctos cinereus</i>	Koala	V	V	Nil	Koalas are widespread in eastern NSW and have been recorded sparingly in the region south of Parkes (BioNet, 2013). White Box which occurs on the study area is a preferred food tree of the Koala west of the Great Dividing Range. Koalas require large mature trees in which to roost and feed and suitable trees are present on the study area. Although the study could potentially support Koalas, no population is known to occur in the vicinity.
	Macropodidae	<i>Petrogale penicillata</i>	Brush-tailed Rock Wallaby	E	V	Nil	Inhabits rocky areas in sclerophyll forest, usually slopes that receive direct sunlight for most of the day and with caves, crevices or jumbled boulders to provide shelter (Maynes and Sharman, 1983). No such habitat occurs on the study area.
	Muridae	<i>Pseudomys novaehollandiae</i>	New Holland Mouse	-	V	Nil	Across the species' range the New Holland Mouse is known to inhabit open heathlands, open woodlands with a heathland understorey, and vegetated sand dunes (SEWPac 2013b). Such habitats are absent from the study area.
	Vespertilionidae	<i>Chalinolobus picatus</i>	Little Pied Bat	V	V	Nil	There are three records of the Little Pied Bat to the north and south of Parkes (BioNet, 2013). It occurs in dry open forest, open woodland, mulga woodlands, chenopod shrublands, cypress pine forest, and mallee and Bimbel box woodlands. It roosts in caves, rock outcrops, mine shafts, tunnels, tree hollows and buildings (OEH, 2013a). There is potential for it to nest or roost on the study area in old growth trees with hollows, and it may potentially forage among the remnant trees.
		<i>Nyctophilus corbeni</i>	South-eastern Long-eared Bat	V	V	Nil	The South-eastern Long-eared Bat inhabits large areas of remnant bushland and is absent from cleared farming country. It requires trees with hollows or strips of shedding bark for roosting (OEH, 2013a). There are no records of the species close to Parkes, the nearest records being in the Hervey Range to the north east and the Nangar Range to the south east (BioNet, 2013). It is unlikely to occur on the study area.

¹ NSW Threatened Species Conservation Act, 1995.
² Commonwealth Environment Protection and Biodiversity Conservation Act, 1999.
³ NSW Fisheries Management Act 1994.
E Endangered; CE Critically Endangered; V Vulnerable.

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METHODS

The methods used in this survey and assessment are considered appropriate to the highly disturbed nature of the site. They are adapted from *Threatened Biodiversity Survey and Assessment: Guidelines for Developments and Activities* (DEC, 2004), the *BioMetric Terrestrial Biodiversity Assessment Tool* (Gibbons *et al.*, (2005), *Threatened species assessment guidelines: the assessment of significance* (DECC, 2007) and updates on the Office of Environment and Heritage website (OEH, 2013c).

SURVEY TIMING AND CONDITIONS

The field survey was conducted over one day; 29 October 2013. There had been well above average rainfall in March, although April and early May were dry (Table 4). Record rainfall fell in June 2013 and July was also well above average, such that extensive germination and growth of ground cover flora species was present in October.

**Table 4. Rainfall (mm) recorded at Parkes Airport in 2013
(Bureau of Meteorology Station No. 065068)**

Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct
2013	19.4	15.2	81.6	1.6	34.0	176.4	71.8	17.0	43.8	11.2
Long Term Mean	61.8	66.1	49.6	30.4	48.8	53.3	49.3	45.3	43.6	52.0

FLORA SAMPLING

Owing to the lack of remnant native vegetation on the study area, it was not necessary to conduct formal flora quadrat sampling.

Vegetation communities

All remnant trees on the study area were identified to species in order to determine the original native vegetation communities that formerly occurred there. This approach is feasible because native forest and woodland communities are defined and named by the dominant trees in the uppermost vegetation stratum.

Ground cover transects

All of the study area is cleared land. The flora was documented through 50 m transects to determine quantitatively whether the ground cover is in 'good' or 'low' condition as defined by the BioMetric methodology (Gibbons *et al.* 1995). Ground vegetation is considered to be in 'low' condition if more than 50 percent of cover comprises introduced species, or in 'good' condition if more than 50 percent of cover is native species.

Ground cover condition was determined by sampling five transects. At one metre intervals on each transect, the vegetation below the tape was determined and recorded as predominantly native or introduced. The percentage of native versus introduced cover was calculated from this data for each transect.

In addition, a complete list of the plant species present in an area of 50 × 2 m (1 m on either side of the tape) was recorded for each transect (Appendix A). Each species was given a rating for its relative abundance on the following scale;



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Code	Descriptor
a	abundant
c	common
o	occasional
u	uncommon
r	rare

Species Listing

All observed plant species were recorded, whether identified on formal sample sites or not. Species recorded opportunistically are listed separately in Attachment A. Where plants could not be quickly identified in the field, a sample was taken back to the laboratory for identification using a binocular microscope and flora keys. The principal reference was the PlantNet website (RBGDT, 2013), which is used as the primary basis for nomenclature in this report. However, updated taxonomy is used for some groups that have been revised recently.

Targeted Searches for Threatened Flora Species

Targeted searching for the Silky Swainson-pea, a threatened flora species that is likely to have once occurred on the study area (Table 2) was conducted by walking throughout the study area.

FAUNA SAMPLING

Owing to the lack of habitat for most native fauna species, particularly threatened fauna species, no formal sampling for fauna was considered necessary. Rather, records were made of any native or other fauna observed while moving around the site to document the flora. All bird species seen or heard during the survey were identified. Signs of fauna activity were noted if present including such indications as scats, scratches, diggings, tracks etc.

RESULTS AND DISCUSSION

FLORA

Flora Species

A complete list of the plant species identified on the study area is given in Appendix A. A total of 70 species was recorded, of which 24 (34.3%) are native and 46 (65.7%) are introduced. The main plant families represented are the Poaceae (Grasses) (20 species), Asteraceae (Daisies) (11 species) and Faboideae (Pea flowers) (7 species).

Vegetation Communities

Pre-European Vegetation

Only one tree that is likely to have been present, or descended from, the original vegetation on the study area remains, a large White Cypress Pine (*Callitris glaucophylla*). It occurs in the southernmost small paddock (Figure 1). The original eucalyptus woodland is likely to have been dominated by White Box (*Eucalyptus albens*) and / or Inland Grey Box (*Eucalyptus moluccana*), but there are no remnants of these trees on or near the study area.

The original native vegetation on the study area would have been part of the Western Slopes Grassy Woodlands vegetation class of Keith (2004), which in turn comprises many discrete vegetation communities. The remnant eucalypt trees elsewhere in the Parkes district indicate



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that of the western slopes vegetation communities defined by Benson (2008), the closest fit for the study area is likely to have been the 'White Box - White Cypress Pine - Inland Grey Box woodland on the western slopes of NSW' vegetation community.

Current study area vegetation

The former natural vegetation of the study area has been eliminated by past land management. The current vegetation can be classified into two broad types (Figure 1):

1. Exotic grassland/forbland
2. Tree and shrub plantings

These vegetation types are described below.

Exotic Grassland/Forbland

The whole of the study area has been cleared historically of its tree and shrub cover and has likely been used for grazing livestock for over a century and a half. The grasslands are generally dominated by introduced grasses and forbs (see section on vegetation condition), although small areas retain a dominant cover of native grasses.

There are few native species in the ground cover and most are very uncommon (Appendix A). The most common are Curly Windmill Grass (*Enteropogon acicularis*), Ringed Wallaby Grass (*Rytidosperma caespitosum*), Sprawling Bluebell (*Wahlenbergia gracilis*) and Blue Storksbill (*Erodium cicutarium*).

This vegetation type supports many introduced herbaceous species and grasses. The dominant introduced grass species are Bearded Oats (*Avena barbata*), Soft Brome (*Bromus hordeaceus*), Barley Grass (*Hordeum leporinum*), Wimmera Ryegrass (*Lolium rigidum*) and Rat's Tail Fescue (*Vulpia myuros*).

The dominant introduced forbs are Saffron Thistle (*Carthamus lanatus*), Skeleton Weed (*Chondrilla juncea*), Spear Thistle (*Cirsium vulgare*), Smooth Catsear (*Hypochaeris glabra*), Four-leaved Allseed (*Polycarpon tetraphyllum*), Hop Clover (*Trifolium campestre*), Clustered Clover (*Trifolium glomeratum*) and White Clover (*Trifolium repens*).

Tree and Shrub Plantings

Four small plantings of native and exotic trees and shrubs are present on the study area (Figure 1, Plate 1). The composition of each planting is given in Table 5.

Table 5. Species of Trees and Shrubs Planted on the Study Area

Scientific Name	Common Name	Planting (as per Figure 1)			
		A	B	C	D
<i>Acacia baileyana</i>	Cootamundra Wattle				✓
<i>Brachychiton populneus</i>	Kurrajong			✓	
<i>Casuarina cunninghamiana</i>	River Oak	✓			
<i>Cupressus</i> sp.	An ornamental pine			✓	
<i>Eucalyptus scoparia</i>	Wallangarra White Gum		✓		
<i>Melaleuca armillaris</i>	Cream Paperbark		✓		✓
<i>Melia azederach</i>	White Cedar			✓	✓
<i>Salix matsudana</i> 'Tortuosa'	Tortured Willow	✓	✓		



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Plate 1. Tree planting B in centre of study area.

Vegetation Condition

The condition of the vegetation on the study area was assessed with five ground cover transects adapted from the BioMetric methodology (Gibbons *et al.*, 2005). The ground cover transects were placed in each of the larger paddocks (Figure 1). The results are given in Table 6.

Table 6. Ground Cover Composition (percent)

Transect No.	Bare ground	Native grasses	Native shrubs	Native forbs	Exotic plants
1	0	0	0	0	100
2	10	10	0	0	80
3	0	2	0	0	98
4	6	2	0	20	74
5	2	2	0	10	86
Total	18	16	0	30	438
Mean	3.6	3.2	0	6.0	87.6

The ground cover transects showed an almost complete dominance by exotic plants (Table 6, Plates 2 to 5). Average exotic plant cover was 88 percent and varied from 74 to 100 percent. Native grass cover averaged only 3.2 percent and ranged from zero to 10 percent. Native forb cover was also very low, averaging only 6 percent, and ranging from zero to 20 percent. No native ground cover shrubs were present.

The high dominance by exotic plants indicates the paddocks are highly degraded from their original state and are now in 'low' condition with respect to native ground cover.

General Manager

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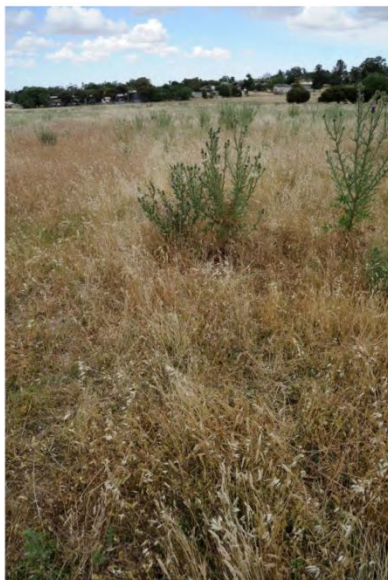


Plate 2. Ground cover transect 1



Plate 4. Ground cover transect 3



Plate 3. Ground cover transect 2



Plate 5. Ground cover transect 4

General Manager

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Threatened Flora Species

One threatened flora species, the Wallangarra White Gum (*Eucalyptus scoparia*) that is listed as Endangered under the TSC Act and Vulnerable under the EPBC Act was found. One planted specimen occurs in the centre of the study area in Planting B (Figure 1, Table 5, Plate 1).

Threatened Ecological Communities

No remnants of any threatened ecological communities occur on the study area.

FAUNA

Habitat Resources

The site supports one broad habitat type; exotic grassland/forbland with occasional planted trees. The grassland does not support any hollow bearing trees or large tracts of woodland for hollow-nesting and woodland-dependent species.

Where present, the planted tree and shrub species provide shelter, roosting and possibly nesting habitat for a limited range of native bird species. The planted *Eucalyptus* and *Melaleuca* species may provide limited seasonal nectar resources for birds such as honeyeaters and lorikeets, as well as for insects which in turn may provide food for insectivorous birds. The groundcover species of grasses may provide seed resources for granivorous fauna species.

The lack of fallen timber and rock means habitat is lacking for small ground-dwelling mammals and reptiles.

Birds

Low numbers of bird species were recorded on the study area owing to the paucity of suitable habitat. Only six native species, Crested Pigeon (*Ocyphaps lophotes*), Australian Magpie (*Gymnorhina tibicen*), Noisy Miner (*Manorina melanocephala*), Welcome Swallow (*Hirundo neoxena*), Richard's Pipit (*Anthus australis*) and Yellow-rumped Thornbill (*Acanthiza chrysorrhoa*), and one introduced species, the Common Starling (*Sturnus vulgaris*), were observed on the study area. All are common species that are adapted to farmland with scattered trees or small woodlots. Except for Richard's Pipit, which is partially migratory, all of the observed birds can be considered year round residents of the study area and its surrounds.

Mammals, Reptiles and Frogs

The habitats on the study area are considered highly unlikely to support a diversity of native mammals, reptiles or frogs. Only one mammal species was observed during the survey, the domestic sheep (*Ovis aries*). No reptiles or frogs were observed.

Threatened Fauna Species

No threatened fauna species were detected on the study area by the survey:



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SEPP 44 Koala Habitat Assessment

The flora survey detected no koala food trees listed under Schedule 2 of SEPP 44. Also, there is no evidence of a breeding koala population. Consequently, the study area is not core koala habitat and a SEPP 44 Plan of Management is not required.

POTENTIAL IMPACTS ON BIODIVERSITY

Subdivision of the study area for housing is considered highly unlikely to have a significant impact on biodiversity for the following reasons;

- The study area has been completely cleared of its original native vegetation.
- The ground cover is in 'low' condition being comprised almost entirely of introduced species.
- Intensive farming of the area for over 150 years has eliminated almost all of the original native flora species. Only a few grazing-tolerant native herb and grass species now occur there.
- No threatened flora species, including the Silky Swainson-pea, was found on the study area and suitable habitat no longer exists for any threatened flora species.
- No threatened fauna species were found on the study area and suitable habitat to support breeding populations of threatened fauna species is absent.
- The study area has a low chance of occasionally being utilised as foraging habitat by wide-ranging threatened birds of prey (Spotted Harrier and Little Eagle) and by wintering Flame Robins. However, it is considered unlikely such species would utilise the area owing to its poor habitat quality and proximity to human habitation.
- No threatened ecological communities occur on the study area.
- One planted specimen of the threatened Wallangarra White Gum occurs on the study area. This species is widely planted throughout south eastern Australia as an ornamental tree. However, the removal of this tree would have no impact on the conservation of wild populations of the species and given the widespread nature of ornamental plantings would have no significant impact on the overall survival of the species.

IMPACT ASSESSMENT

For the reasons outlined in the previous section, it is considered that a formal assessment of the impact of the proposed subdivision on biodiversity under section 5a of the NSW EP&A Act is not warranted.

EPBC ACT

No matters requiring referral to the Commonwealth Department of Sustainability, Environment, Water, Population and Communities relating to Commonwealth listed threatened species and ecological communities, migratory species or wetlands of international importance, were revealed by this study.



General Manager



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APPENDIX A

FLORA SPECIES LIST

LEGEND:

Letter codes in Transect columns are:

a – abundant

c – common

o – occasional

u – uncommon

r – rare

Opportunistic observations are recorded in the first column (Opp.)

Presence of a species is recorded with a dot in samples not rated for abundance (•).

Introduced species are preceded by an asterisk (*).

Planted species are preceded by a cross (†)



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Appendix A
Flora Species and their Relative Abundance on Five Ground Cover Transects

Scientific Name	Common Name	Transect					
		T1	T2	T3	T4	T5	Opp.
CLASS CONIFEROPSIDA							
Cupressaceae							
<i>Callitris glaucophylla</i>	White Cypress Pine						•
† <i>Cupressus</i> sp.	Ornamental Pine						•
CLASS MAGNOLIOPSIDA							
SUBCLASS MAGNOLIIDA							
Asteraceae							
<i>*Arctotheca calendula</i>	Capeweed		c				
<i>*Carthamus lanatus</i>	Saffron Thistle	o	a	o	c	a	
<i>*Centaurea melitensis</i>	Maltese Cockspur				r		
<i>*Chondrilla juncea</i>	Skeleton Weed	o	o		c		
<i>*Cirsium vulgare</i>	Spear Thistle	o	u	c	u		
<i>*Hypochaeris glabra</i>	Smooth Catsear	o	u	u	c	c	
<i>*Silybum marianum</i>	Variegated Thistle				r		•
<i>*Sonchus oleraceus</i>	Common Sowthistle	u		u	o	u	
<i>Vittadinia cuneata</i> var. <i>cuneata</i>	Fuzzweed	u					
<i>Vittadinia gracilis</i>	Woolly New Holland Daisy	u			u		
<i>*Xanthium spinosum</i>	Bathurst Burr						•
Boraginaceae							
<i>*Echium plantagineum</i>	Paterson's Curse		r	•	o	o	
Brassicaceae							
<i>*Capsella bursa-pastoris</i>	Shepherd's Purse	o	r				
<i>*Rapistrum rugosum</i>	Turnip Weed						•
<i>*Sisymbrium erysimoides</i>	Smooth Mustard						•
Campanulaceae							
<i>Wahlenbergia communis</i>	Tufted Bluebell				u		
<i>Wahlenbergia gracilis</i>	Sprawling Bluebell				o	c	
Casuarinaceae							
† <i>Casuarina cunninghamiana</i>	River Oak						•
Caryophyllaceae							
<i>*Petrohragia nanteuillii</i>		u		r			
<i>*Polycarpon tetraphyllum</i>	Four-leaved Allseed	r	c	u	u		
Crassulaceae							
<i>Crassula sieberiana</i>	Australian Stonecrop				r		
Fabaceae: Faboideae							
<i>*Medicago polymorpha</i>	Burr Medic		r	o			
<i>*Trifolium angustifolium</i>	Narrow-leaved Clover			r			
<i>*Trifolium arvense</i>	Haresfoot Clover	c			o		
<i>*Trifolium campestre</i>	Hop Clover	u	c	a		a	



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Scientific Name	Common Name	Transect					
		T1	T2	T3	T4	T5	Opp.
<i>*Trifolium glomeratum</i>	Clustered Clover	a	a	c	a	o	
<i>*Trifolium repens</i>	White Clover	u		o	o	a	
<i>*Trifolium tomentosum</i>	Woolly Clover			o			
Fabaceae: Mimosoideae							
† <i>Acacia baileyana</i>	Cootamundra Wattle						•
Geraniaceae							
<i>*Erodium cicutarium</i>	Common Storksbill		r				
<i>Erodium crinitum</i>	Blue Storksbill	u	u		c		
Lamiaceae							
<i>*Marrubium vulgare</i>	White Horehound	r			r		
<i>*Salvia verbenaca</i>	Vervain	u	u		u		
Malvaceae							
<i>*Malva parviflora</i>	Small-flowered Mallow				r		•
Meliaceae							
† <i>Melia azedarach</i> var <i>australasica</i>	White Cedar						•
Myrtaceae							
† <i>Eucalyptus scoparia</i>	Wallangarra White Gum						•
† <i>Melaleuca armillaris</i> subsp. <i>armillaris</i>	Cream Paperbark						•
Papaveraceae							
<i>*Papaver hybridum</i>	Rough Poppy	r	r		r		
Plantaginaceae							
<i>*Plantago lanceolata</i>	Lamb's Tongues			o			
Polygonaceae							
<i>*Polygonum aviculare</i>	Wireweed						•
<i>Rumex brownii</i>	Swamp Dock				r		
<i>*Rumex crispus</i>	Curled Dock					r	•
Salicaceae							
† <i>*Salix matsudana</i> 'Tortuosa'	Tortured Willow						•
Solanaceae							
<i>*Lycium ferocissimum</i>	African Boxthorn						•
Sterculiaceae							
† <i>Brachychiton populneus</i>	Kurrajong						•
SUBCLASS LILIIDAE							
Cyperaceae							
<i>Carex inversa</i>				r			
Iridaceae							
<i>*Romulea rosea</i>	Onion Grass			u			
Juncaceae							
<i>Juncus flavidus</i>				u		u	
Poaceae							
<i>Aristida behriana</i>	Bunch Wiregrass				r	u	
<i>Aristida personata</i>	Purple Wire-grass						•

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Scientific Name	Common Name	Transect					
		T1	T2	T3	T4	T5	Opp.
<i>Austrostipa nodosa</i>		r					
* <i>Avena barbata</i>	Bearded Oats	a	c		c	c	
* <i>Avena fatua</i>	Wild Oats		o	u			
* <i>Bromus catharticus</i>	Prairie Grass			r			•
* <i>Bromus diandrus</i>	Great Brome	c					
* <i>Bromus hordeaceus</i>	Soft Brome	a	c	a	c	o	
<i>Chloris truncata</i>	Windmill Grass		u	u			
<i>Enteropogon acicularis</i>		u			o	u	
* <i>Eragrostis curvula</i>	African Lovegrass			u			•
* <i>Hordeum leporinum</i>	Barley Grass	o	a	o	a	c	
* <i>Lolium rigidum</i>	Wimmera Ryegrass	o	c	c	o	a	
* <i>Pennisetum clandestinum</i>	Kikuyu Grass			c			
* <i>Phalaris minor</i>	Lesser Canary Grass						•
<i>Rytidosperma bipartitum</i>	Wallaby Grass					u	
<i>Rytidosperma caespitosum</i>	Ringed Wallaby Grass	o	u		c		
<i>Rytidosperma carphoides</i>	Short Wallaby Grass					c	
* <i>Vulpia bromoides</i>	Squirrel Tail Fescue	c					
* <i>Vulpia myuros</i>	Rat's Tail Fescue			u	c	c	
No. Native Species	24						
No. Introduced Species	46						
Total Species	70						



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Appendix B

AHIMS SEARCH RESULT



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AHIMS Web Services (AWS) Search Result

Your Ref Number :
Client Service ID : 111490

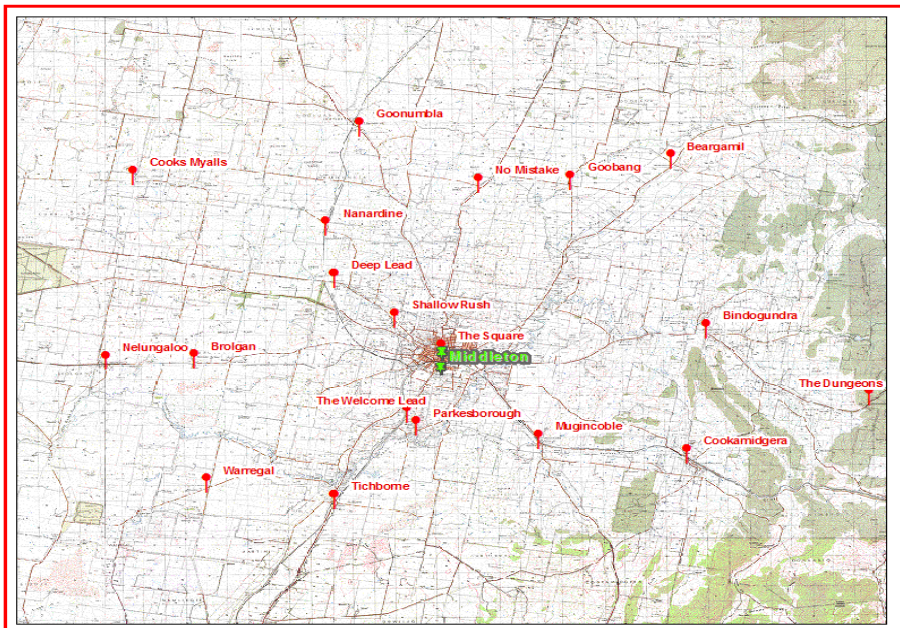
Kate Heynes
154 Peisley St
Orange New South Wales 2800
Attention: Kate Heynes
Email: kate.heyne@gmail.com

Date: 12 September 2013

Dear Sir or Madam:

**AHIMS Web Service search for the following area at Datum :GDA, Zone :55, Eastings :590000 - 630000,
Northings : 6315000 - 6355000 with a Buffer of 0 meters, conducted by Kate Heynes on 12 September 2013.**

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of the Office of the Environment and Heritage AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

69	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location.*

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If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette](http://www.nsw.gov.au/gazette) (<http://www.nsw.gov.au/gazette>) website. Gazettal notices published prior to 2001 can be obtained from Office of Environment and Heritage's Aboriginal Heritage Information Unit upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Office of Environment and Heritage and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date .Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

PO BOX 1967 Hurstville NSW 2220
43 Bridge Street HURSTVILLE NSW 2220
Tel: (02)9585 6345 (02)9585 6471 Fax: (02)9585 6094

ABN 30 841 387 271
Email: ahims@environment.nsw.gov.au
Web: www.environment.nsw.gov.au



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Appendix C

PROPOSED LEP MAP AMENDMENTS



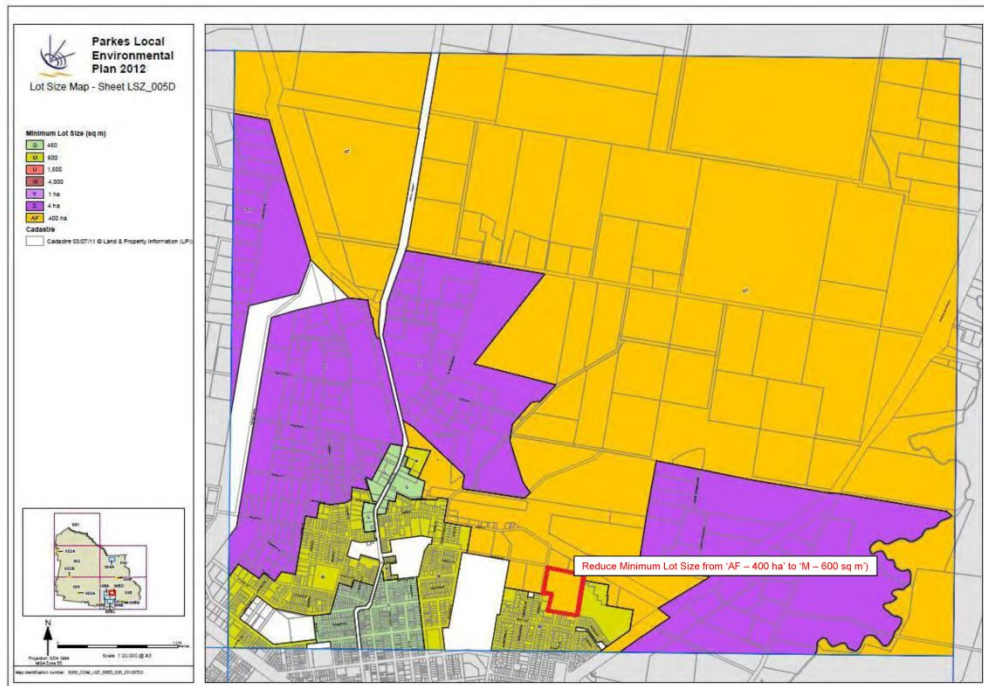
General Manager



Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131066 AT LORRING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131066 AT LORRING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

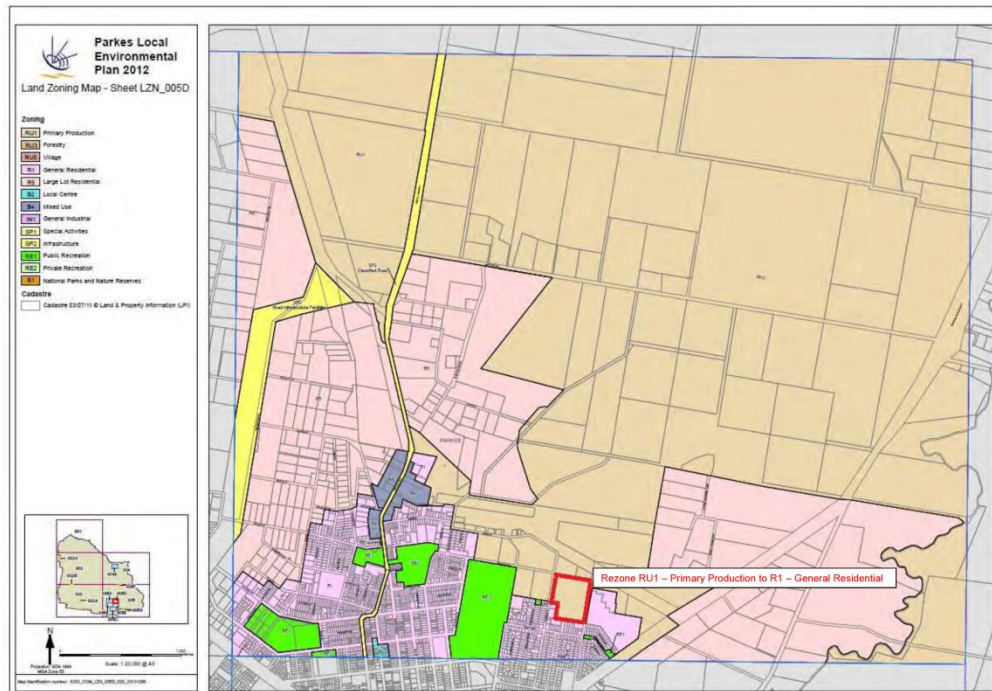
Page C2
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General Manager

Mayor



PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORRING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN



PAGE C3
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PLANNING PROPOSAL
PROPOSED REZONING OF LOT 12 IN DP 1131006 AT LORRING STREET, PARKES
KARINA WHITE AND DUANE SULLIVAN

PAGE C4
212257_PP_2010 Docx

General Manager

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Appendix D

STAGE 1 CONTAMINATION ASSESSMENT



General Manager



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Preliminary contamination assessment

Lot 12 DP1131006 Webb Street, Parkes NSW

Ref: R13468c
Date: 17 October 2013

Envirowest Consulting Pty Ltd ABN 18 103 955 246

• 9 Cameron Place, PO Box 8158, Orange NSW 2800 • Tel (02) 6361 4954 •
• Fax (02) 6360 3960 • Email admin@envirowest.net.au • Web www.envirowest.net.au •

Environmental
Geotechnical
Asbestos
Services



General Manager

Mayor

Prepared by: Envirowest Consulting Pty Ltd
9 Cameron Place
Orange NSW 2800

Client: Geolyse Pty Ltd
PO Box 1963
Orange NSW 2800

Assessor: Leah Desborough BNatRes (Hons)
Environmental Scientist

Authorising Officer: Greg Madafiglio PhD
Senior Environmental Scientist

Interested authorities: Parkes Shire Council

Report number: R13468c

Date: 17 October 2013

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Executive summary

Background

A change in land-use is proposed for Lot 12 DP1131006 Webb Street, Parkes NSW. Land-use will change from rural to residential. Potential exists for contaminating activities to have been undertaken on the site which may impact on suitability for the proposed land-use. The site is bounded by Danilenko Street to the east, Barton Street to the south and Lorking Street to the west.

An investigation is required to determine potential for contamination from past activities.

Objectives

A preliminary site investigation was conducted in accordance with the contaminated land management planning guidelines State Environmental Planning Policy No. 55 (SEPP 55) to determine the potential for soil contamination of Lot 12 DP1131006 Webb Street, Parkes NSW.

Investigation and conclusions

The site is located on the north eastern fringes of Parkes and has an area of approximately 10 hectares. Danilenko Street is located along the eastern boundary, Barton Street along the southern boundary and Lorking Street along the western boundary.

The site is farmland with a current land-use of stock grazing. Small amounts of cropping for stock fodder production have occurred in the past.

A small holding pen used for stock loading and unloading was located in the central section of the site. No contaminating activities are expected to be associated with the holding pen.

The contamination status of the site was assessed from a site inspection and desktop study. No soil samples were collected for laboratory analysis.

No contaminating activities were identified on the site. No fill, staining or evidence of contaminating activities were observed on the site. The site is expected to be suitable for residential land-use. A soil sampling program is required to confirm findings.

Recommendations

Additional investigations including a soil sampling program is recommended to confirm the contamination status of the site.

Location	Potential contaminants sources	Area	No of sampling locations	Pattern	Depth	Contaminants of concern
General site	Agriculture, pesticides	10ha	28	Systematic within each paddock	Surface (0-0.1m)	Arsenic, cadmium, chromium, copper, lead, nickel, zinc, organochlorine pesticides (OCP)

If other areas of contamination are identified then additional sampling and analysis may be required. The additional investigations should be undertaken in accordance with the contaminated land management planning guidelines State Environmental Planning Policy No. 55 (SEPP 55) by an appropriately qualified environmental scientist.

Envirowest Consulting Pty Ltd R13468c



General Manager



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Page 4

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4. Site history	5
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Figure 1. Locality map

Figure 2. Aerial photograph of the site (1955)

Figure 3. Google aerial photograph of part of the site (2006)

Figure 4. Google aerial photograph of part of the site (2010)

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1. Introduction

A change in land-use is proposed for Lot 12 DP1131006 Webb Street, Parkes NSW. Land-use will change from rural to residential. Potential exists for contaminating activities to have been undertaken on the site which may impact on suitability for the proposed land-use. The site is bounded by Danilkenko Street to the east, Barton Street to the south and Lorking Street to the west.

A site inspection, desktop study and a review of the available history were undertaken of the site to determine sources of potential contamination. No soil samples were collected.

2. Scope of work

Envirowest Consulting Pty Ltd was commissioned by Geolyse Pty Ltd to undertake a preliminary contamination investigation of Lot 12 DP1131006 Webb Street, Parkes NSW. The objective was to identify past potentially contaminating activities, identify potential contamination types, provide a preliminary assessment of site contamination and assess the need for further investigation or suitability for the residential land-use. The scope did not include soil sampling.

3. Site identification

Address	Lot 12 DP1131006 Webb Street Parkes NSW
Owner(s)	c/- Geolyse Pty Ltd
Deposited plans	Lot 12 DP1131006
Australian Map Grid	55H E611070m N6333900m
Locality map	Figure 1
Aerial photograph	Figure 2
Photograph(s)	Figure 3
Area	Approximately 10 hectares

4. Site history

4.1 Zoning

The southern section of the site is zoned R1 General Residential and the northern section RU1 Primary Production under the Parkes Local Environmental Plan 2012.

4.2 Land-use

The current land-use of the site is stock grazing. This appears to have also been the historical land-use. The historical land-use included cropping.

Land to the west and south had been developed for residential land-use. Land to the east was undergoing residential development.

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No horticultural crops have been produced over the site.

4.3 Summary of council records

No information regarding contamination issues identified in Parkes Shire Council records. The site is not identified as contaminated land and no documents relating to contamination were found.

4.4 Sources of information

Topographic map of area (Parkes 1:50,000 CMA of NSW) 1980
NSW OEH records of public notices under the CLM Act 1997
Aerial photograph 1955, 1965, 1973, 1983, 1993, 2004, 2009, 2010, 2012
Historical parish maps 1940 and 1941
LTO charting map 1958
Regional charting map 1972
Lands Department title records
Site inspection on 27 September 2013 by Andrew Ruming

4.5 Chronological list of site uses

4.5.1 Historical parish maps

A review of the 1940 and 1941 historical parish maps indicated the site comprised 4 lots noted as Lot 354, 355, 356 and 357. The lots were owned by WA Lorking (lots 354 and 357), TS McDade and E Best (Lot 355) and SE Close (Lot 356). Barton Street is located to the south and Lorking Street to the West.

4.5.2 LTO charting map

A review of the 1958 LTO charting map indicated residential lots were located off-site to the south.

4.5.3 Regional charting map

A review of the 1972 regional charting map indicated the site comprised 4 lots noted as Lot 354, 355, 356 and 357. The lots were owned by WA Lorking (Lots 354 and 357), TS McDade and E Best (Lot 355) and SE Close (Lot 356). Danilenko Street is located to the east, Barton Street is located to the south and Lorking Street to the West.

4.5.4 Aerial photographs

4.5.4.1 1955 aerial photograph

- Land-use was dominated by agriculture with grazing on cleared land.
- Dwellings are located off-site along the southern and part western boundaries.
- Unsealed roads are located to the south (Barton Street) and west (Lorking Street).

4.5.4.2 1965 aerial photograph

No new features were identified in the 1965 aerial photograph.

4.5.4.3 1973 aerial photograph

New features identified in the 1973 aerial photograph were:

- The southern section of the investigation area appeared to have been cultivated.
- Land to the north contains buildings and has been cultivated,

4.5.4.4 1983 aerial photograph

New features identified in the 1983 aerial photograph were:

- The land-use of the investigation area appeared to have been grazing.

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- Danilenko Street had been formed along the eastern boundary. The street appeared unsealed.

4.5.4.5 1993 aerial photograph

No new features identified in the 1993 aerial photograph.

4.5.4.6 2004 aerial photograph

New features identified in the 2004 aerial photograph were:

- Additional lots off-site to the south were used for residential land-use.

4.5.4.7 2009 aerial photograph

No new features identified in the 2009 aerial photograph.

4.5.4.8 2010 aerial photograph

New features identified in the 2010 aerial photograph were:

- The majority of the site had been cultivated.
- Several trees were located along fence lines.

4.5.4.9 2012 aerial photograph

New features identified in the 2012 aerial photograph were:

- A drainage line was identifiable running from the western boundary in a south east direction.
- Lots to the east were undergoing residential development.

4.5.5 1980 topographic map (1973 aerial photograph, 1977 field revision)

No features are identified in the investigation area on the 1980 topographic map. A built up area is located to the south. A road (sealed surface two or more lanes) is located to the west (Lorking Street). A road is located to the east.

4.5.4 Land and Property Information

4.5.4.1 Previous title reference – Volume 907, Folio 94

Volume 907, Folio 94 was previously Crown Land sold at auction on 27 April 1888 to Walter Alfred Lorking of Parkes, Postmaster.

The title was transferred to Patrick Michael McGirr of Parkes, Commission Agent on 18 August 1913.

The title was transferred to Emily Thompson wife of Argyle Bruce Thompson of Parkes, Hotel Manager on 29 June 1917.

The title was transferred to Patrick Michael McGirr of Forbes, Grazier on 9 July 1924.

The title was transferred to Maud Mabel Witts of Parkes, Spinster on 2 June 1925.

The title was transferred to Victoria Isabel Miller of Lichborne, Spinster on 28 January 1927.

The title was transferred to George Frederick Mill of Parkes, Farmer and Grazier on 10 March 1947.

4.5.4.2 Previous title reference – Volume 985, Folio 38

Volume 985, Folio 38 was previously Crown Land sold at auction on 23 October 1889 to Thomas Scott McDade and Edmund Best of Parkes, Drapers.

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The title was transferred to Walter Alfred Lorking of Forbes, Postmaster on 18 December 1909.

The title was transferred to Patrick Michael McGirr of Parkes, Commission Agent on 18 August 1913.

The title was transferred to Emily Thompson wife of Argyle Bruce Thompson of Parkes, Hotel Manager on 29 June 1917.

The title was transferred to Patrick Michael McGirr of Forbes, Grazier on 9 July 1924.

The title was transferred to Maud Mabel Witts of Parkes, Spinster on 2 June 1925.

The title was transferred to Victoria Isabel Miller of Lichborne, Spinster on 28 January 1927.

The title was transferred to George Frederick Mill of Parkes, Farmer and Grazier on 10 March 1947.

The title was transferred to Nola Clarice Palmer wife of Gerard Palmer of Parkes, Farmer and Grazier on 11 January 1954.

4.5.4.3 Previous title reference – Volume 983, Folio 179

Volume 983, Folio 179 was previously Crown Land sold at auction on 23 October 1889 to Sydney Ephraim Close of Parkes, Auctioneer.

The title was transferred to Alfred Edward McIntosh of Parkes, Solicitor on 4 July 1907.

The title was transferred to Patrick Michael McGirr of Parkes, Commission Agent on 18 August 1913.

The title was transferred to Victoria Isabel Miller of Parkes, Spinster on 20 June 1924.

The title was transferred to George Frederick Mill of Parkes, Farmer and Grazier on 10 March 1947.

The title was transferred to Nola Clarice Palmer wife of Gerard Palmer of Parkes, Farmer and Grazier on 11 January 1954.

4.5.4.2 Previous title reference – Volume 985, Folio 33

Volume 985, Folio 38 was previously Crown Land sold at auction on 23 October 1889 to Walter Alfred Lorking of Parkes, Postmaster.

The title was transferred to Patrick Michael McGirr of Parkes, Commission Agent on 18 August 1913.

The title was transferred to Emily Thompson wife of Argyle Bruce Thompson of Parkes, Hotel Manager on 29 June 1917.

The title was transferred to Patrick Michael McGirr of Forbes, Grazier on 9 July 1924.

The title was transferred to Maud Mabel Witts of Parkes, Spinster on 2 June 1925.

The title was transferred to Victoria Isabel Miller of Lichborne, Spinster on 28 January 1927.

The title was transferred to George Frederick Mill of Parkes, Farmer and Grazier on 10 March 1947.

The title was transferred to William Finley Hourigan of Parkes on 11 March 1949.

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4.5.5 Other information

Application of persistent pesticides or biosolids is unlikely to have occurred on the site.

4.6 Buildings and infrastructure

The boundaries of the site were fenced. Several internal fences traverse the site separating the investigation area into paddocks.

A small (4m x 4m) holding pen with loading ramp is located in the central section of the site. A water trough is located adjacent the holding pen.

No other infrastructure was identified on the site.

4.7 Contaminant sources

Pesticides may have been applied to the investigation area as part of farm management.

4.8 Contaminants of concern

- Heavy metals (arsenic, cadmium, chromium, copper, lead, nickel, zinc)
- Organochlorine pesticides (OCP)

4.9 Relevant complaint history

Nil

4.10 Contaminated site register

The investigation area is not listed on the NSW EPA Contaminated Land record or the list of NSW contaminated sites notified to the EPA (accessed 4 October 2013). Neighbouring properties are also not listed.

4.11 Previous investigations

No previous contamination investigations are known to have been undertaken on the site.

4.12 Neighbouring land-use

North – Rural-residential

South – Bus depot and residential

East – Danilenko Street and rural beyond (undergoing residential development)

West – Lorking Street, residential

The neighbouring land-uses are not expected to impact on the contamination status of the site.

4.13 Integrity assessment

The site history was obtained from a history review. The information to the best of the assessor's knowledge is accurate.

5. Site condition and environment

5.1 Surface cover

Surface cover consisted of pasture species including cocksfoot, oats, phalaris, wallaby grass, clover and barley grass. Weed species included mallow, thistle and Paterson's curse. A tree stand comprising willow and eucalypts was located in the central section of the site. A tree stand is also located in the southern section.

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5.2 Topography

The site is located on a mid-slope. Slope is very gently to moderately inclined ranging from 0 to 10%. Aspect is predominantly south east.

5.3 Soils and geology

The site is within the Parkes Soil Landscape (King 1998). Soil types of the Parkes Soil Landscape comprise shallow to moderately deep, moderately well-drained red earths and red podzolic soils/non-calciic brown soils on sideslopes. Lower slopes have moderately deep imperfectly drained red brown earths.

The Parkes Soil Landscape is underlain by the Cotton Formation, Burrandong Creek Member and Parkes Volcanics comprising sedimentary rocks including siltstones, chert, conglomerates, sandstones, limestones and volcanic rocks including volcanic sandstones and intermediate volcanics.

5.4 Surface water and groundwater

A drainage line traverses the site from north west to south east. Surface water on the site flows into the drainage line which empties into the stormwater system on Danilenko Street.

The Australian Natural Resources Atlas identifies the site within the Unincorporated Area – Lachlan Fold Belt Province Groundwater Management Unit. The management unit has an area of 238,277km² with approximately 47,000 ML consumed per year. Salinity levels are variable ranging from less than 1,000µg/L to greater than 20,000µg/L. Groundwater is located in fractured rock aquifers with variable yield potential. These factors have limited the use of groundwater to stock purposes with some domestic use.

No groundwater bores were identified in the NSW Natural Resource Atlas as occurring on the site or within 1km of the site. Bores in the locality are licensed for domestic and stock with water bearing zones located at depths greater than 20m in confined rock. Shallow monitoring bores are also located in the area.

5.5 Evidence of contamination checklist

Site layout showing industrial processes	None identified
Sewer and service plans	Sewer located along southern boundary
Manufacturing processes	None identified
Underground tanks	None identified
Product spills and loss history	None identified
Discharges to land, water and air	None expected
Disposal locations, presence of drums, wastes and fill materials	Nil
Soil staining	None identified
Visible signs of plant stress, bare areas	Bare areas identified around stock gates due to livestock compaction.

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Odours	None identified
Ruins	None identified
Other	-

6. Sampling analysis plan and sampling methodology

No soil samples collected

7. Results and discussion

The site is rural land and has a land-use history of grazing on cleared areas. Cropping for fodder production is expected to have been undertaken in the past. There was no evidence of fill, sheep dips, orchards, mines or other contaminating activities from the historical review. No significant building or commercial activity was observed from the aerial photographs.

Historical aerial photographs indicate an agricultural land-use of grazing with some cropping. The Lands Department title records indicate the owners of the site were generally farmers and graziers.

A small holding pen is located in the central section. The pen is expected to have used for ease of loading and unloading stock. No potential contamination is associated with the holding pen.

No contaminating activities were identified from the site inspection or desktop study.

8. Conclusions and recommendations

8.1 Summary

The site is located on the north eastern fringes of Parkes and has an area of approximately 10 hectares. Danilenko Street is located along the eastern boundary, Barton Street along the southern boundary and Lorking Street along the western boundary.

The site is farmland with a current land-use of stock grazing. Small amounts of cropping for stock fodder production have occurred in the past.

A small holding pen used for stock loading and unloading was located in the central section of the site. No contaminating activities are expected to be associated with the holding pen.

The contamination status of the site was assessed from a site inspection and desktop study. No soil samples were collected for laboratory analysis.

No contaminating activities were identified on the site. No fill, staining or evidence of contaminating activities were observed on the site. The site is expected to be suitable for residential land-use. A soil sampling program is required to confirm findings.

8.2 Assumptions used in reaching the conclusions

An accurate history has been obtained and typical past farming practices were adopted.

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8.3 Suitability of proposed use

Residential land-use is expected to be suitable on the site. Additional investigations including soil sampling are required to confirm suitability.

8.4 Recommendation for further work

Additional investigations including a soil sampling program is recommended to confirm the contamination status of the site.

Location	Potential contaminants sources	Area	No of sampling locations	Pattern	Depth	Contaminants of concern
General site	Agriculture, pesticides	10ha	28	Systematic within each paddock	Surface (0-0.1m)	Arsenic, cadmium, chromium, copper, lead, nickel, zinc, organochlorine pesticides (OCP)

If other areas of contamination are identified then additional sampling and analysis may be required. The additional investigations should be undertaken in accordance with the contaminated land management planning guidelines State Environmental Planning Policy No. 55 (SEPP 55) by an appropriately qualified environmental scientist.

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9. Report limitations and intellectual property

This report has been prepared for the use of the client to achieve the objectives given the clients requirements. The level of confidence of the conclusion reached is governed by the scope of the investigation and the availability and quality of existing data. Where limitations or uncertainties are known, they are identified in the report. No liability can be accepted for failure to identify conditions or issues which arise in the future and which could not reasonably have been predicted using the scope of the investigation and the information obtained.

The investigation identifies the actual subsurface conditions only at those points where samples are taken, when they are taken. Data derived through sampling and subsequent laboratory testing is interpreted by geologists, engineers or scientists who then render an opinion about overall subsurface conditions, the nature and extent of the contamination, its likely impact on the proposed development and appropriate remediation measures. Actual conditions may differ from those inferred to exist, because no professional, no matter how well qualified, and no sub-surface exploration program, no matter how comprehensive, can reveal what is hidden by earth, rock or time. The actual interface between materials may be far more gradual or abrupt than a report indicates. Actual conditions in areas not sampled may differ from predictions. It is thus important to understand the limitations of the investigation and recognise that we are not responsible for these limitations.

This report, including data contained and its findings and conclusions, remains the intellectual property of Envirowest Consulting Pty Ltd. A licence to use the report for the specific purpose identified is granted for the persons identified in that section after full payment for the services involved in preparation of the report. This report should not be used by persons or for purposes other than those stated, and should not be reproduced without the permission of Envirowest Consulting Pty Ltd.

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10. References

CMA (1980) *Parkes Topographic Map 1:50,000* (Central Mapping Authority of New South Wales, Bathurst)

DEC (2006) *Contaminated Sites: Guidelines for the NSW Site Auditors Scheme* (NSW Environment Protection Authority, Chatswood)

EPA (1995) *Contaminated sites: Sampling Design Guidelines* (NSW Environment Protection Authority, Chatswood)

King DP (1998) *Soil Landscapes of Forbes 1:250,000 Sheet* (Department of Land and Water Conservation NSW)

NEPC (2013) *National Environment Protection (Assessment of Site Contamination) Measure 2013* (National Environment Protection Council Service Corporation, Adelaide)

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Figures

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Figure 3. Photographs of the site



Looking south west over investigation area



Looking north east over investigation area



Looking south over the investigation area



Holding pen

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12.3 (DPE) Development Application No. DA14006 Industrial Activity (Asphalt Hot Mix Plant)

Development Application Information

Application No: DA14006

Applicant: Geolyse Pty Ltd on behalf of Civil Independence

Property: Lot 2 DP 1073363, 27-31 Matthews Street, Parkes

Proposal: Industrial Activity (Asphalt Hot Mix Plant)

Executive Summary

Development Application No. DA14006 proposes an Industrial Activity (Asphalt Hot Mix Plant) at Lot 2 DP1073363, 27-31 Matthews Street, Parkes. A copy of the site and elevation plans, a Statement of Environmental Effects and associated documentation is included in an attachment to this report. The application was lodged on 15 January 2014 by Geolyse Pty Ltd on behalf of Civil Independence.

The application has been reported to Council for consideration for the following reasons:

- a submission was received from an adjoining land owner during the public exhibition period
- the proposal is not consistent with the Parkes Shire Council Industrial Estate Development Control Plan 1998 in terms of the proposed building design (Section 3.2).

Background Information

The subject land is owned by Council.

The proposed development has a capital investment value of less than \$5 million and therefore does not need to be forwarded to the Joint Regional Planning Panel for determination. However, due to the nature of the application, the 79C assessment report was carried out by an external consultant. This assessment formed part of the development assessment and preparation of this report.

Legislative, Policy & Management Planning Implications

Nil.

Budget & Financial Aspects

Nil.



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Recommendation

It is recommended that the application be approved subject to the conditions contained in the attached report.

Report

Details of Proposed Development

The development proposes an asphalt hot mix plant with a proposed capacity of 19,500 tonnes per year and less than 150 tonnes per day. The development will consist of a static Mobimix90 hot mix asphalt plant together with office building, laboratory/shipping container, carport, shipping container for storage, bitumen/fuel tanks, aggregate stockpile bays, detention basin, first flush pond, weighbridge, car parking (20 spaces), landscaping on the perimeter, a security fence with entry and exit points onto Matthews Street, internal access ways, machine/ truck parking and an internal stormwater drainage system as shown on Drawing 03B_A03 Drawing Sheet 3 of 6 title: Proposed Site Plan.

The plant would operate standard daytime hours, being 6am - 6pm, Monday to Friday and 6 am – 2pm on Saturdays. Additional working hours may be required for the delivery of specific contractual arrangements and therefore the development application is seeking development consent for 24 hour operation.

The hotmix plant produces asphalt using the various raw materials as shown in the following table (being the amended Table 3.1 of the original SEE submitted by the applicant in their letter dated 24 February 2014 reference 213265_LET_002A.docx)

Material	Volume per year (tonnes) (based on output of 19,500 tonnes per year)
Bitumen	975
Filler	487.5
Diesel (flux)	195
Coarse and Fine Aggregates	17,842.50
TOTAL	19,500

The documentation accompanying the application consists of:

1. Statement of Environmental Effects - Proposed Asphalt Hot Mix Plant, 27 – 31 Matthews Street, Parkes, Lot 2 DP 1073363, prepared For Civil Independence NSW dated December 2013 (Then subsequently amended by the following documents).
2. Drawings (dated 11 February 2014):
 - Locality map and drawing schedule, Drawing sheet 1 of 6, 03B_A01
 - Existing site and services layout, Drawing sheet 2 of 6, 03B_A02
 - Proposed site plan, Drawing sheet 3 of 6, 03B_A03
 - Site elevations, Drawing sheet 4 of 6, 03B_A04
 - Office plans and sections, Drawing sheet 5 of 6, 03B_A05
 - Proposed Landscape plan, Drawing sheet 6 of 6, 03B_A06
3. Additional information for Proposed Asphalt Hot Mix Plant DA14006 prepared for Civil Independence NSW February 2014.



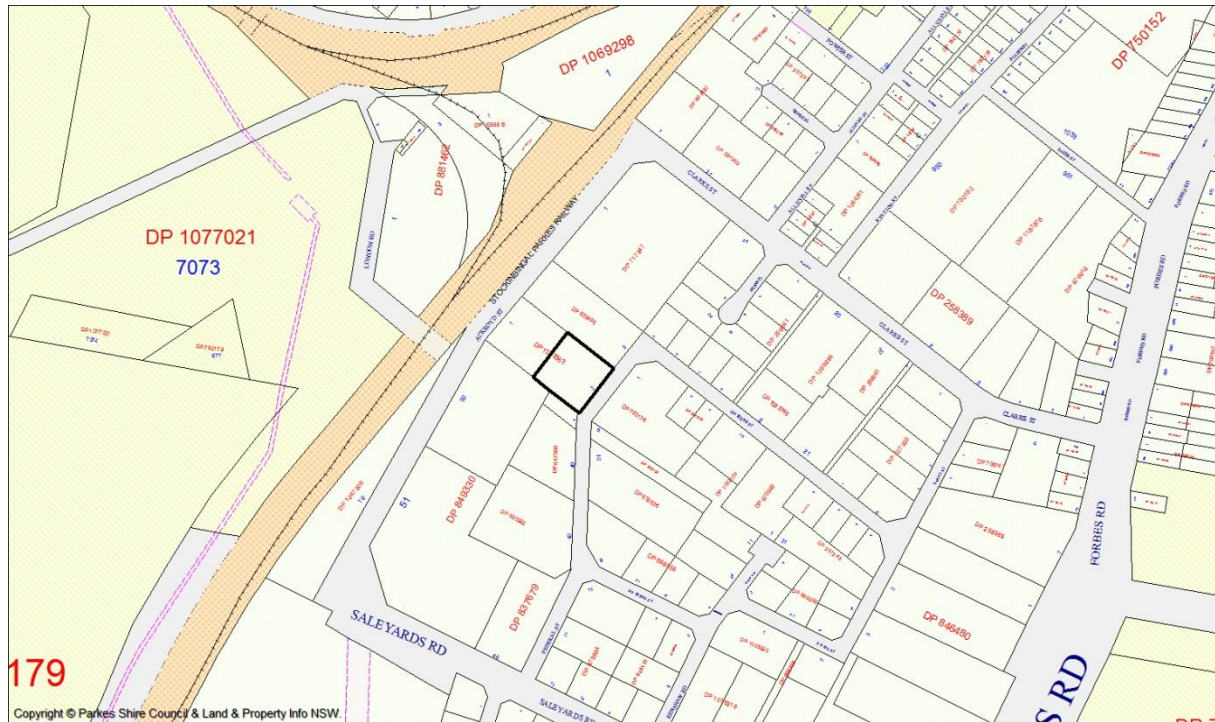
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4. Geolyse letter Reference 213265_LET_002A.docx dated 24 February 2014 with additional information following site meeting with Annalise Cummings (PSC) and Michelle Gibson (EPA) with amended material volumes, traffic generation figures.

Location Map



Statutory Planning Framework

Environment Planning and Assessment Act 1979

Designated Development

This development could potentially be designated development, however, to be classified as designated development under Schedule 3 of the EP&A Reg, development of this nature would need to have a capacity of not more than 150 tonnes per day or 30,000 tonnes per year, or be located within 100 m of a natural water body or wetland, or within 250 m of a residential zone or dwelling, not associated with the development. The SEE states that it is under all these development standards, and hence is not "designated development". The physical criteria have been verified by site inspection.

Protection of the Environment Operations Act 1997 (POEO Act)

The original SEE submitted with development application proposed to blend 1450 tonnes of bitumen per year. The Environment Protection Authority advised that the proposal would require a licence as it was a scheduled activity in accordance with Schedule 1 of the POEO Act.

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As a result, the applicant amended the SEE and proposed to reduce the quantity of bitumen to 975 tonnes per year and therefore negate the need for a licence under the POEO Act.

The EPA have advised Council that the proposal will still require a licence as asphalt is considered to be a dangerous good and the plant proposes to produce more than 1000 tonnes of dangerous goods per year. As such, Council's assessment of the proposal has been carried out on this basis.

Consultation

Public Authority Consultation

The application was not lodged as integrated development by the applicant. Although the development application form did not indicate that the development was integrated development, the SEE submitted with the application noted '*it is unclear whether the proposed activity falls into the above definitions*' which referred to Scheduled Activities under the POEO Act.

As such Council referred the application and amended subsequent additional information to the Environment Protection Authority (EPA) on 23 January 2014 to determine whether the proposed development would require an Environment Protection Licence (EPL).

On the 20 February 2014 the EPA advised Council by telephone that the development would be a scheduled activity as the proposal involves blending dangerous goods in excess of the EPA Schedule 1 of an amount greater than 1000 tonnes per annum (1450t proposed).

On the 24 February 2014 the applicant proposed that the output of the plant be amended so that the levels falls below the integrated development threshold.

On the 28 March 2014 the EPA advised that they were still of the opinion that the proposed development would require an EPL. The applicant maintained their position that an EPL was not required.

Council obtained legal advice which confirmed it was the applicant's decision to determine whether they wanted an integrated approval, but this did not negate the need for the applicant to obtain an EPL from EPA.

The EPA have confirmed that an EPL is required for the proposed development. Council's legal advice has confirmed that Council is unable to force the applicant to opt into the integrated development regime, however, Council's assessment of the proposal has been based on the fact that an EPL will be required. Therefore, a deferred commencement condition of consent has been included which requires the applicant to obtain the EPL.

Internal Referrals

The development application was referred to Council's Engineering Services Department for comment. The Engineering Services Department assessment is included later in this report.



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External Referrals

The development assessment report for DA14006 was referred to an external party for a peer review.

Public Consultation

The application was publicly exhibited and notified to adjoining land owners from 17 February 2014 to 3 March 2014. Council received one submission during the exhibition period and one late submission. The content of the submission and Council response is included later in this report.

Engineering Assessment

Access

The site on Matthews Street would be accessed from Newell Highway via Saleyards Road/Federal Street or Clarke/Royal Street. All access roads are approved for heavy vehicles up to 26m B-double. Separate entrance and egress points are proposed at the North-Eastern and South-Eastern corners of the proposed land followed by removal of the existing access located midway along the Eastern boundary. Each access will have a width of 6m. Kerb & gutter of Matthews Street frontage shall be modified by the proponent accordingly. All vehicular accesses shall be sealed and line marked.

Entrance and egress shall be properly signed in order to minimize hazardous traffic movement. The minimum width of internal driveways servicing light or heavy vehicles shall be 6m for two way operations.

Traffic Generation

The anticipated major source of traffic would be the material supply vehicles for the plant, hot mix product delivery vehicle and the customer/staff vehicles. The expected volume of generated traffic has been provided in Statement of Environmental Effects (SEE) stating that the development would have an annual average daily traffic volume of 23.4 vehicles and peak hourly volume of 3.51 vehicles to/from the Newell Highway via Mathews Street-Federal Street-Saleyards road and Matthews Street-Royal Street-Clarke Street.

Matthews Street has been constructed with an 11m sealed pavement, Federal Street 9m, Saleyards Road 16.4m, Royal Street 9m and Clarke St 13m sealed pavement. These roads have a significant capacity to cater for the proposed development, particularly the truck movements that might be expected from this style of development.



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Parking

The development would have 86.5m² gross floor area for the building and 95m² gross floor area for the plant requiring 1.82 parking spaces in accordance with the Development Control Plan of Parkes Shire Council. Following further information received detailing the proposed operations, the development would require at least five parking spaces for its five staff and reasonable car parking spaces for customers. The development proposes 20 parking spaces along the north-eastern boundary of the site which satisfies the minimum requirement of car parking for such developments. Separate areas have been proposed for machine and truck parking located along the north-eastern boundary over a 3m wide easement. In addition, two car parking spaces have been allocated in the office building compound and a disabled parking space has been proposed at the southern corner of the subject land.

All car parking areas, loading bays, vehicular entrances to public roads and internal driveways servicing car parking and loading areas shall be sealed and line marked to meet requirements of AUS-SPEC#1 Parkes Shire Council. All other driveway surfaces shall be constructed to an all weather standard. Parking spaces shall be grouped into distinct parking areas and signposted to ensure safe and convenient car parking and pedestrian movement.

Stormwater - Major/Minor

Currently the subject site is completely undeveloped and has no impervious surfaces. The development would result in a significant proportion of impervious surface on the subject land. This will have the impact of significantly increased runoff from the developed site. As part of the development, the site will have on-site stormwater drainage system with first flush and detention ponds in order to manage and discharge stormwater. Surface water flows associated with the development would be directed to the first flush system via proposed internal stormwater drains. The overflow from the first flush pond would be directed to the table drain of Ackroyd Street via an existing easement along the North-East boundary of the subject land and over the already developed neighbouring lot. The table drain appears adequate to receive additional stormwater from the proposed development. The development also will capture rain water and the on-site plant can re-use water from the detention/first flush pit. All dust suppression water sprays will use this recycled water.

The first flush system shall be designed in accordance with NSW Office of Environment and Heritage guidelines and shall be approved by Council's Director Engineering Services prior to issue of a construction certificate. The design shall include hydraulic calculations for the estimation of the capacity of first flush pond.

The applicant will need to provide a stormwater management plan which will show mitigation measures to ensure that stormwater discharge will not be greater from the developed site than the currently undeveloped site. The stormwater management plan will address stormwater runoff from the site for a 1 in 10 ARI storm event without surcharge and will also detail the overland stormwater paths for a 1 in 100 ARI storm event.

The detail for the construction of any pits, pipes, detention area must be provided prior to the issue of a Construction Certificate and include surface levels, invert levels, pipe grades and material classifications. Any proposed stormwater harvesting and reuse should also be outlined in the stormwater management plan.



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Water Supply

The proposed development is within the Parkes water supply network area. There is an existing 150mm water main passing along Southern side of Matthews Street. It is proposed that the hot mix asphalt plant would source water required for its operations and amenities from the town water supply. As anticipated by the applicant, approximately 60-90 kilolitres of town water will be required for production. The development also will capture rain water and the plant can re-use water from detention/first flush pit. All dust suppression water sprays will use this recycled water.

No water meter is connected for this site. The applicant shall lodge with Council an application for water connection with the required fee. Upon receiving the quotation from Council the applicant shall make payment in full before the property connection and meter is provided.

There will be no headworks charges for water for this development as it was previously paid when the subject land was subdivided. Nor is there expected to be a significantly higher water usage than what might normally be expected in Council's industrial estate.

The construction of the internal water supply network is to be in accordance with AS3500 National Plumbing and Drainage. The internal water network will be owned and maintained by the owner of the development.

Sewer

The proposed development is within the Parkes sewerage drainage area. There are currently council mains running along the south-eastern boundary of the development.

There will be no headworks charges for sewer for this development as it was previously paid when the subject land was subdivided. Nor is there expected to be a significantly higher sewer discharge than what might normally be expected in Council's industrial estate.

The internal sewer lines are required to be designed and constructed in accordance with the NSW Plumbing and Drainage Code. The internal sewer network will be owned and maintained by the owner of the development.

Environmental Assessment

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application in accordance with Section 79C(1) of the Environmental Planning and Assessment Act 1979. The following section provides an evaluation of the relevant Section 79C matters for consideration for DA14006:



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Section 79C Evaluation

(1) Matters for consideration—general

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

(a)(i) the provisions of any environmental planning instrument:

Plan provisions identified as relevant in determining the application from the assessment checklist.	Compliance/ Comments
Parkes Local Environmental Plan 2012	
<p>1.2 Aims of Plan</p> <p>(2)(b) to encourage a range of housing, employment, recreation facilities to meet the needs of existing and future residents of Parkes.</p> <p>(2)(g) to encourage industrial development that is matched by adequate land supply for long-term needs, is linked with key services and infrastructure, provides for a diversity of employment and increases the number of skilled jobs in Parkes.</p> <p>(2)(h) to raise the profile of Parkes to broaden the economic base, to improve its attractiveness as a tourist destination, encourage long stays and greater local spending and promote a wide understanding of Parkes as a place to live and invest</p>	<p>The proposed development is consistent with the aims of the plan.</p>
<p>1.4 Definitions</p> <p>heavy industry means a building or place used to carry out an industrial activity that requires separation from other development because of the nature of the processes involved, or the materials used, stored or produced, and includes: hazardous industry, or offensive industry.</p> <p>It may also involve the use of a hazardous storage establishment or offensive storage establishment.</p>	<p>Asphalt bitumen hot mix plant is characterised as "heavy industry" with elements of "hazardous industry" and "offensive industry".</p>



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1.9 Application of SEPPS

**State Environmental Planning Policy No. 33
Hazardous and Offensive Development**

2 Aims, objectives etc

This Policy aims:

- (a) to amend the definitions of hazardous and offensive industries where used in environmental planning instruments, and
- (b) to render ineffective a provision of any environmental planning instrument that prohibits development for the purpose of a storage facility on the ground that the facility is hazardous or offensive if it is not a hazardous or offensive storage establishment as defined in this Policy, and
- (c) to require development consent for hazardous or offensive development proposed to be carried out in the Western Division, and
- (d) to ensure that in determining whether a development is a hazardous or offensive industry, any measures proposed to be employed to reduce the impact of the development are taken into account, and
- (e) to ensure that in considering any application to carry out potentially hazardous or offensive development, the consent authority has sufficient information to assess whether the development is hazardous or offensive and to impose conditions to reduce or minimise any adverse impact, and
- (f) to require the advertising of applications to carry out any such development.

Clause 8 - Consideration of Departmental Guidelines

In determining whether a development is:

- (a) a hazardous storage establishment, hazardous industry or other potentially hazardous industry, or
- (b) an offensive storage establishment, offensive industry or other potentially offensive industry, consideration must be given to current circulars or guidelines published by the Department of Planning relating to hazardous or offensive development.

2 Aims, objectives etc

Complies - (d), (e) and (f) have been followed in the assessment of this DA

Clause 8 - Consideration of Departmental Guidelines

The NSW Department of Planning and Infrastructure have produced the "Hazardous and offensive development application guidelines – Applying SEPP 33" dated January 2011.

The procedural requirements specified by SEPP 33 have been followed to assess whether or not the proposed asphalt hot mix plant is either a hazardous or offensive storage establishment, hazardous or offensive industry or potentially hazardous or potentially offensive industry as defined by SEPP33.

Part 3 of the Guidelines outlines the procedural requirements when SEPP 33 applies. In accordance with the Guidelines, the development application was notified to adjoining land owners and was publicly exhibited. Council also sought views of the Environment Protection Authority. The relevant guidelines and circulars were considered.



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	<p>An assessment was carried out in accordance with Section 7 of the guidelines and it was found that the proposed development was not considered a potentially hazardous industry and therefore a preliminary hazard assessment is not required.</p> <p>The EPA have confirmed that the proposed development will require an EPL and therefore the development will have appropriate controls to ensure that it is not a potentially offensive industry.</p>
<p>State Environmental Planning Policy (Infrastructure) 2007</p> <p>Clause 104 sets down the criteria for when traffic generating development reaches volumes that require referral to Roads and Maritime Services (RMS) for their conditions of consent or recommendations to be taken into consideration by Council.</p>	<ul style="list-style-type: none"> • Lot 2 has a site area of 6003 m² well less than the 20,000 m² of area specified in schedule 3 of the matter to be referred to the RMS. • Lot 2 does not have direct access to the classified road nor is it within 90 m of classified and is not required to be referred to the RMS.
<p>State Environmental Planning Policy No. 55 - Remediation of Land</p> <p>Clause 7 provides that a consent authority must consider whether the land is contaminated for the purpose for which the development is proposed to be carried out.</p>	<p>The subject land is vacant and is not located on Council's Potentially Contaminated Lands Register.</p>
<p>2.2 Zoning of land to which Plan applies</p>	<p>Lot 2 is located in the IN1 General Industrial zone</p>
<p>2.3 Zone objectives and Land Use Table</p> <ul style="list-style-type: none"> • Objectives of IN1 General Industrial Zone To provide a wide range of industrial and warehouse land uses. • To encourage employment opportunities. • To minimise any adverse effect of industry on other land uses. • To support and protect industrial land for industrial uses. • To create high quality working and business environments. • To locate industrial land that reinforces links between the Parkes Hub, the Parkes Industrial Estate and other key infrastructure. • To encourage industrial development that responds to site characteristics, considers visual impacts of built form and does not conflict with adjoining land uses. • To facilitate industrial development that 	<p>Lot 2 is within the Parkes Industrial Estate, which has been created for a wide range of industrial activity zone IN1 General Industrial. The proposed development is consistent with the objectives of the zone.</p>



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<p>supports regional economic influences.</p> <ul style="list-style-type: none"> • To support existing industry sectors in Parkes that are key economic drivers. • To provide for industrial uses in close proximity to transport infrastructure. • To enable other land uses that provide facilities or services to meet the day-to-day needs of workers in the area. • To accommodate larger industries or those that could potentially create a nuisance in locations separated from residential areas but accessible to the workforce. • To enable development that is associated with, ancillary to, or supportive of, industry or industrial employees. • To encourage a range of uses that provide specialist goods and services to the region's farmers and agricultural enterprises. 	
Land Use Table - Zone IN1 General Industrial	Complies - "Heavy industries" are permitted in the IN1 General Industrial zone with development consent from Council.
5.10 Heritage Conservation	Complies - The land is not identified as containing any heritage items in Schedule 5 Environmental Heritage
6.2 Terrestrial Biodiversity	Complies - Map sheet BIO – 005B site not identified as affected
6.3 Groundwater Vulnerability	Complies - Map sheet GRV – 005A site not identified as affected
6.4 Riparian Lands and Watercourses	Complies - Map sheet WCL – 005D site not identified as affected
6.5 Wetlands	Complies - No map identifying land is affected
6.6 Airspace Operations	Complies - Lot 2 lies outside the obstacles limitation service map area.

(ii) any proposed (Draft) instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Director-General has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

There are no draft instruments relevant to the proposal.



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(iii) any development control plan, and

Relevant Development Control Plan Provisions	Compliance and Comments
Parkes Industrial Estate DCP 1998	
1.3 Objectives	
Allow for wide range of industrial activities and opportunities in the town Parkes	Consistent with this objective
Ensure the most efficient use of industrial land while safeguarding environmental factors through careful site planning.	Consistent with this objective
Ensure appropriate traffic management measures are applied to assimilate industrial traffic on internal and external road systems	Consistent with this objective
Encourage good design buildings, landscaping and general appearance of development within the estate.	The proposed plant and accompanying ancillary buildings and facilities are anticipated in the industrial estate. Setbacks and landscaping will soften the impact.
Maximise utilisation of services.	All services are available to the site.
Achieve a high level of amenity, safety and efficiency in the industrial workplace.	All activities on the site will be subject to the requirements of WorkCover NSW and the Work Health And Safety Act 2011
1.4 Application	The DCP is applicable to this site
1.6 Variations	Variation is sought for non-compliance with the materials used in the street elevation of the office building.
3.1 Boundary Setbacks	Complies
3.2 Building Design	The proposal involves pre-fabricated buildings and therefore would not have masonry facades as required by the DCP. Extensive landscaping has been proposed to soften the appearance of the site.
3.3 Security Fencing	Existing security fencing will be retained and new fencing erected where necessary on the boundary.
3.4 Open storage	Complies
3.5 Access and Parking	Complies - Access and parking have been provided as shown on the drawing "PROPOSED SITE LAYOUT" 01-A003
3.6 Traffic Generating Development	Complies - The traffic volume stated in the SEE can be adequately handled within the existing



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	capacity of the adjoining road network.
3.7 Landscaping	Complies - Details of the planting has been submitted with the application.
3.8 On-site Drainage	Complies - In accordance with Council's requirements.
3.9 Waste Disposal	Complies - In accordance with Council's requirements
3.10 Water supply	Complies - The development site is serviced by Council's reticulated water system
4. Advertising Signs	Complies - No advertising signs proposed. Any signs are that those permitted as "exempt" or "complying" development will be subject to separate development application.
5.1 Air Pollution	Complies. Potential impact identified, however, the applicant will be required to comply with EPL requirements.
5.2 Noise	Complies. Potential impact identified - development required to satisfy the requirements of the NSW Industrial Noise Policy and the EPL requirements.
5.3 Water Pollution	Complies. Provisions have been provided on site for water treatment in accordance with Council policies prior to discharge into Council stormwater system and/or reuse on-site
5.4 Hazardous Goods	Complies. The proposal has been assessed in accordance with SEPP 33 Hazardous and Offensive Development. A Condition of Consent will require the applicant to consult with NSW Fire and Rescue.
5.5 Pollution Control Equipment	Complies. Pollution control equipment is incorporated in the plant (5.1 0.1.1 other pollutants SEE p21) The equipment will be used to monitor the plant emissions. The development need to comply with the requirements of the EPL.
Parkes Urban Area Development Control Plan 1998	
2.3 Industrial Objectives	Consistent with these objectives.
<ul style="list-style-type: none"> assist the promotion of industrial development through planned industrial estates concentrate business in appropriate areas to 	



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reduce conflict between local and commercial traffic, and with residential areas	
<p>Performance Standards</p> <p>Industrial development shall be appropriately designed and constructed, having regard to the local transport drainage networks. Developers shall refer to appendix B and C and AUS-SPEC# 1/Parkes Shire Council to determine the required standards and specifications construction works</p>	<p>Relevant when lodging construction certificate.</p> <p>Lot 2 is located in urban stormwater catchment number 3</p>
Car Parking Code Development Control Plan 1998	
1.1 Introduction	Noted
1.2 Application	Noted
1.3 Objectives	
Provide convenient and adequate parking for employees, clients, visitors and servicing groups that meets the needs of the development	The proposed will provide 20 vehicle parking spaces on site on the Matthews Street frontage with some heavy plant/machinery parking along the northern boundary as shown on drawing title proposed site layout 03B_A032 revision dated 11/02/14.
Ensure quality of parking areas in terms of safety, amenity and integration with surrounding areas.	Complies
Ensure the adequate provision of suitably located parking for disabled Persons	Complies
Provide landscaping quality materials in the construction of parking areas to improve the amenity of those parking areas	Complies
Provide parking areas which promote ease of access as well a suitable internal circulation patterns	Complies
1.4 Definitions	Noted
1.5 Other References	Noted
2. ON-SITE PARKING PROVISION	
<p>Industry</p> <p>factories and warehouses one space per 90 m² of G FA</p>	
3 Car Parking Design	Complies - Will be provided in accordance with the design standards in accordance with Council's adopted Engineering Technical Specification policies.



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3.1 Location	Complies
3.2 Access	Complies
3.3 Layout	Complies
3.4 Internal Road Design	Complies The site layout provides ingress and egress onto Matthews Street by two separate access points as shown on the drawing Proposed Site Layout 03B_A03 revision dated 11/02/14.
3.5 Night-Time Parking	N/A
4.1 Disabled Parking	Will be provided in accordance with the design standards of Council's adopted Engineering Technical Specification policies and BCA.
4.2 Landscaping	A proposed landscaping plan has been submitted with the proposal.
4.3 Bicycle Parking	N/A
4.4 Pedestrians	N/A
4.5 Construction	All construction in accordance with the BCA and plant manufacturers specifications
4.6 Service Vehicles and Loading Docks	All loading and unloading takes place on-site.
4.7 Signs	Subject to separate application if required.
5.1 Physical Provision of Parking Elsewhere in the Locality	N/A
5.2 Contribution in lieu of Physical Provision	N/A

(iia) any planning agreement that has been entered into under section 93F, or any draft planning agreement that a developer has offered to enter into under section 93F, and

A planning agreement or draft planning agreement has not been entered into under Section 93F.

(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and

Section 79C(1)(a)(iv) of the Act requires the Council to also consider Clauses 92, 93, 94 and 94A of the Environmental Planning and Assessment Regulation. The following provides an assessment of the relevant clauses of the Regulation:

Clause 92 – The Government Coastal Policy does not apply to the Parkes Shire and therefore Clause 92(1)(a) and (b) are not applicable to this development proposal. The



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proposal does not involve demolition of a building and therefore the requirements of AS 2601 do not need to be considered in accordance with Clause 92(2).

Clause 93 – The proposal does not involve the change of a building use for an existing building, or the use of an existing building as a place of public entertainment and therefore the requirement to consider fire safety and structural adequacy of buildings in accordance with Clause 93 is unnecessary.

Clause 94 – The proposal does not involve the rebuilding, alteration, enlargement or extension of an existing building or place of public entertainment and therefore the requirement to consider the upgrading of buildings into total or partial conformity with the Building Code of Australia is not appropriate on this occasion.

Clause 94A – The proposal does not involve the erection of a temporary structure and therefore the requirements to consider fire safety and structural adequacy is unnecessary.

There are no relevant prescribed matters relating to the proposed development and the subject land.

(v) any coastal zone management plan (within the meaning of the that apply to the land to which the development application relates,

This provision is not applicable to the Parkes Shire Council area.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

Context and Setting	No impact. Lot 2 is located in an industrial zone. Proposed development is in character with the nature and expectations of this industrial area.
Public Domain	Low impact The height and bulk of the proposed plant will make the plant's location noticeable however, the site is located within the industrial estate and surrounded by similar types of development in terms of bulk and scale. The proposed landscaping will soften and disguise the silo and stacks.
Heritage	No heritage items of significance located on Lot 2 or adjoining properties.
Site Design and Internal Design	The site layout utilises all the site other than the perimeter landscape planting for the operation of the Asphalt hot mix plant and ancillary activities. The size of the subject allotment adequately accommodates the proposed development functionally.



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Construction	Construction will be in accordance with Council's requirements, BCA and Work Cover NSW.
Utilities	All public utilities (electricity and telecommunications, sewer and water) are available to service the development.
Environmental impacts	
Water	<p>Stormwater run-off from the site will be captured and treated on-site. overflows from the ponds will be directed to Council's stormwater infrastructure in Ackroyd Street.</p> <p>The water will be reused to help suppress dust generated on the site.</p> <p>It is noted that the development will require approximately 60-90 kilolitres of water for production requirements.</p>
Soils	<p>There is the risk of sedimentation and erosion during the construction phase on the site. Compliance with Council's policy in respect of sedimentation and erosion control will be a condition of consent.</p>
Air and microclimate	<p><u>Dust (Particulate Matter)</u></p> <p>The potential sources of dust will be from the aggregate used in the plant. This will be managed during the delivery process by ensuring that the truck have a tarpaulin, aggregate will be dumped slowly into cold feed bays and water sprays will be used throughout the entire process.</p> <p>Any air impacts will be controlled via the EPL.</p> <p><u>Odour</u></p> <p>Sources identified the organic odours from the dryer drum, batching tanks and hot storage bins.</p> <p>The plant will utilise a range of industry best practice technologies and practices to minimise emissions.</p> <p>Any odour impacts will be controlled via the EPL.</p> <p><u>Other Air Pollutants</u></p> <p>Products of combustion: Carbon dioxide, nitrogen oxides, sulphur oxides, carbon dioxide together with other organic compounds and air toxics.</p>



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	<p>The Mobimix90 contains an integrated emission monitoring system that continuously monitors emissions and sends information to the control room. Sudden increases to the emissions would trigger an automatic plant shutdown to minimise impacts to the air quality environment. The applicant will be required to provide records of emissions to the EPA as part of the EPL.</p> <p>Any other air pollutants will be controlled via the EPL.</p>
Other land resources	The proposed development will not have any adverse impacts on other land resources.
Flora and fauna	There are no identified flora or fauna matters relevant to the site. The land has been urbanised for many years, vacant and cleared of vegetation other than grass.
Waste	Waste materials will be collected and stored on site and disposed of as conditioned by Council and the EPA.
Energy	Electricity and diesel will be used by the asphalt plant during production.
Hazards	<p>Refer to 1.9 Application of SEPPS</p> <p>State Environmental Planning Policy No. 33 Hazardous and Offensive Development and the associated guidelines (Hazardous and Offensive Development Guidelines – applying SEPP 33 January 2011)</p>
Noise and vibration	Any noise generated from the plant will be controlled via the EPL.
Natural hazards	As above but note the site is not subject to bushfire or flooding.
Technological hazards	As above
Safety, security and crime prevention	The proposed development is cognisant of principles of Crime Prevention Through Environmental Design: surveillance, access control, territorial reinforcement and space management. Details of the techniques to be employed i.e. natural surveillance; site access control, lighting etc. will be a condition of consent.
Social impact in the locality	<p>Any adverse effects of the plant operation as identified above will be minimised to an acceptable level by the EPL.</p> <p>Social benefits will be derived from direct</p>



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	employment opportunities and indirect opportunities created by the plant.
Economic impact in the locality	The economic impact is expected to be positive and generating local employment and expenditure.
Cumulative impacts	No identified cumulative impacts.

(c) the suitability of the site for the development,

The physical attributes of the site including, size, frontage to depth ratio, topography, zoning and availability of services are suitable for the proposed development. This is demonstrated by the plant layout as shown on the site plan. The site will be fully utilised with little room for expansion.

(d) any submissions made in accordance with this Act or the regulations,

The development application was notified to adjoining land owners and placed on public exhibition between 17 February 2014 to 3 March 2014.

Council received one submission during the exhibition period from the Area Operations Manager of Origin Energy. The submission noted that Origin Energy occupies and operates an LPG terminal at Ackroyd Street Parkes immediately to the west of the proposed hot mix plant and raised the following concerns:

- Impacts from odour, noise and dust particularly if the plant increased production in the future.
- Sought clearer understanding of the scale of activities, mitigation measures to minimise the impacts on their site and personnel.
- Questioned whether the applicant considered alternative plant designs e.g. counterflow plant. (Result in lesser emissions into the air).
- Sought assurance that reclaim asphalt will not be processed on the site.
- Sought clarification of the maximum storage capacity for inputs and outputs associated with the plant are not associated with the plant.
- Sought clarification on the maximum production capacity of the proposed plant design, annual daily and maximum hourly plant production.
- Request that all elevated transfer points that can generate dust being enclosed.

Advice on the proposed management practices storage, handling and disposal of, fly ash, wet scrubber water and sludge, material collected from the cyclone and fines from the settling pond cleaning.



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Council provided the applicant with a copy of the submission and a response was received on 18 March 2014 (copy attached to this report). The response provided by the applicant is a succinct summary of the development's ability to comply with and operate within the NSW legislative environmental framework. Furthermore, the applicant will be required to obtain an EPL and therefore any environmental impacts will be regulated by the EPA in accordance with appropriate guidelines.

Council also received one late submission in relation to the proposal which raised concerns with potential health and environmental impacts. The response above is relevant to this submission. The plant design and proposed mitigation measure enforced by the EPA licence, will control the discharge of pollutants from the site and as such, the concerns raised in the submission will be adequately addressed as part of this process.

(e) the public interest.

Federal	Environmental and public health and safety
State	Environmental health and safety and compliance with controlling planning and pollution legislation.
Local Government interest	Compliance with planning controls, environmental health and human safety compliance with pollution and safe workplace legislation. To encourage industrial development within the Parkes industrial area.

Conclusion

The development application proposes an Industrial Activity (Asphalt Hot Mix Plant) at Lot 2 DP1073363, 27-31 Matthews Street, Parkes. The development application has been lodged by Geolyse Pty Ltd on behalf of Civil Independence. The property is owned by Parkes Shire Council.

The application was supported by a Statement of Environmental Effects and development plans which provide sufficient information to allow assessment of the proposal, however, it is noted that the EPA is likely to require further information for the EPL.

The proposed development has been assessed to be consistent with the requirements of the Parkes Local Environmental Plan 2012 relating to development in the zone and is consistent with existing land-use activities of the locality. The proposal does not comply with the Industrial Code Development Control Plan 1998 as the proposed building are modular in nature and therefore wont comply with Council's requirements for masonry construction. However it is assessed that non-compliance will not create any adverse impacts, as addressed in this report.

Having considered the documentation supplied by the applicant, the findings of site inspections and the comments made from consultation, it is assessed that the impacts of the proposal and the likely environmental interactions between the proposed development and the environment are such that Council should not refuse the development application. Accordingly, a recommendation of conditional approval is listed herein.



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Conditions

Part 1 - Deferred Commencement Conditions

This development consent shall not operate until the applicant satisfies Conditions 1 and 2. The required information must be submitted within 12 months of the date of issue of this development consent.

1. An Environment Protection Licence is to be obtained for the development pursuant to Schedule 1 of the Protection of the Environment Operations Act 1997 prior to the commencement of any works on site.
2. A copy of the Environment Protection Licence is provided to Council within 14 days of the issue of the Environment Protection Licence.

Part 2 - Conditions of Consent

Approved Plans and Documentation

3. Development shall take place in accordance with the Parkes Shire Council stamped plan(s) and supporting documentation lodged in respect of Development Application No. DA14006 except where varied by the following conditions.

Limitations of Consent

4. The premises shall be kept in a clean and well-maintained condition at all times.
5. All traffic movements in and out of the development are to be in a forward direction.
6. Landscaping shall not impede sight lines of traffic and/or pedestrians within the development or when leaving or entering the development.
7. The applicant shall implement all practical measures to prevent and/or minimise any harm to the environment that may result from the construction and/or operation of the asphalt hotmix plant and ancillary activities.
8. The development will produce no more than 19,500 tonnes of asphalt, nor will it use more than the volumes and materials set out in the following table.
9. The applicant shall ensure that all plant and equipment used on the site is maintained and operated in an efficient manner, and in accordance with the relevant Australian Standards.
10. Internal bunds are to be provided around all toxic, flammable or hazardous substances including fuel, bitumen and waste sludge in accordance with any requirements contained in an Environment Protection Licence. If no such condition is applied in an Environment Protection Licence, bunds around all toxic, flammable or hazardous substances including fuel, bitumen and waste sludge are to be provided in accordance with the following standards and have a minimum capacity of 133% of the storage capacity of the tanks:



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- a. Australian Standard AS1940/2004: The storage and Handling of flammable and combustible liquids
 - b. Australian Standard AS4452 B1997: The Storage and Handling of Toxic Substances
11. All sediment and waste water produced from the vehicle washing on site and the front end loader wash down area detailed on the site plan is to be contained on site and not discharged in to Council's stormwater system.
12. The lighting associated with the development is to comply with AS4282 - Control of obtrusive effects of outdoor lighting and AS1158 - Lighting for roads and public spaces.
13. The Emergency Response Plan submitted as part of the application is to be implemented.

Prior to the Commencement of Works

14. The Applicant is to obtain a Construction Certificate from either Council or an Accredited Certifying Authority, certifying that the proposed works are in accordance with the Building Code of Australia and applicable Council Engineering Standards prior to any building and or subdivision works commencing.

Note 1. No building work is to be carried out in relation to this development until the necessary construction certificates have been obtained.

Note 2. It is the responsibility of the Applicant to ensure that the development complies with the Building Code of Australia and applicable engineering standards in the case of building work. This may entail alterations to the proposal so that it complies with these standards.

15. The Applicant is to submit to Parkes Shire Council, at least two days prior to the commencement of any works, a 'Notice of Commencement of Building or Subdivision Works' and 'Appointment of Principal Certifying Authority'.
16. The Owner shall submit to Parkes Shire Council a Final Fire Safety Certificate stating that each essential fire safety measure specified in the current Fire Safety Schedule for the building to which the certificate relates:
 - (a) Has been assessed by a properly authorised person; and
 - (b) Was found, when it was assessed, to be capable of performing to a standard not less than that required by the current fire safety schedule for the building.

The assessment is to be carried out within a period of three (3) months of the date on which the Final Safety Certificate was issued. The owner of the building shall forward a copy of the certificate to the New South Wales Fire Brigades and also prominently display a copy in the building.

Note: A Final Fire Safety Certificate must be provided before a final Occupation Certificate can be issued for the building and must be provided if a Fire Safety Order is made in relation to the building premises.



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17. The Owner/operator shall submit to Parkes Shire Council an Annual Fire Safety Statement, each 12 months after the Final Fire Safety Certificate was issued.

Note 1: A copy of the certificate to be completed as attached.

Note 2: The completed certificate is required to be submitted to Parkes Shire Council prior to occupation.

During Construction

18. All building rubbish and debris, including that which can be wind blown, shall be contained on site in a suitable container for disposal at an approved Waste Landfill Depot. The container shall be erected on the building site prior to work commencing and shall be maintained for the term of the construction to the completion of the project.

Note 1: No building rubbish or debris shall be placed or permitted to be placed on any adjoining public reserve, footway or road.

Note 2: The waste container shall be regularly cleaned to ensure proper containment of the building wastes generated on the construction site.

19. Any damage caused to footpaths, roadways, utility installations and the like by reason of construction operations shall be made good and repaired to a standard equivalent to that existing prior to commencement of construction. The full cost of restoration/repairs of property or services damaged during the works shall be met by the Applicant.

Soil Erosion and Sediment Control

20. Prior to construction works commencing on the site the Applicant shall submit to Parkes Shire Council for approval, a site plan that details the site specific and practical measures that will be employed on the site to properly manage the potential for soil erosion and movement of sediment off the site. All necessary soil erosion and sediment control measures are to be maintained throughout the course of the entire construction period. All disturbed surfaces on the site shall be restored by turfing, paving or revegetation prior to the occupation of the premises.

Trade Waste

21. No contaminated waste water or liquid waste is to be discharged into Parkes Shire Council's sewerage without the prior submission of a trade waste application to Parkes Shire Council and a Trade Waste Agreement being entered into with Parkes Shire Council and the Applicant.

Note: The Applicant is to liaise with Council's Trade Waste officer prior to commencement of the construction.

Landscaping

22. The landscaping as detailed in the approved landscape plan shall be established prior to the issue of an interim or final occupation certificate.



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Dangerous goods storage and handling and fire

23. The applicant will provide written evidence of notifying the NSW Fire and Rescue of the proposed development prior to commencing operations to the Director of Environmental Services.

Access, Parking and Loading

24. All car parking areas, loading bays, vehicular entrances to public roads and internal driveways servicing car parking and loading areas shall be sealed and line marked to meet requirements of AUS-SPEC#1 Parkes Shire Council. All other driveway surfaces shall be constructed to an all weather standard. Parking spaces shall be grouped into distinct parking areas and signposted to ensure safe and convenient parking and pedestrian movement.
25. The applicant shall install concrete kerb laybacks for entrance and egress points to Matthews Street, in accordance with AS2890.1, at no cost to Council. Existing vehicular access shall be removed and reinstated by SA type barrier kerb at no cost to Council.
26. Entrance and egress points shall be clearly signposted.
27. All loading and unloading of delivery vehicles is to take place off-street and must not inhibit the free flow of vehicles accessing the site or other premises in the area.
28. Separate all landscape areas from the adjoining access ways, parking and manoeuvring areas by means of a kerb or other approved device to prevent vehicular movement thereon.
29. Prior to any work commencing within a public road reserve located within the Parkes Shire, the Applicant shall submit for the approval by Parkes Shire Council's Director Engineering Services, detailed engineering design drawings of intended works. The drawings are to be accompanied by associated sediment control plans, environmental management plans, work method statements and traffic control plans.

Note: Traffic Control Plans are to be prepared in accordance with Australian Standard 1742.3 'Manual of Uniform Traffic Control Devices. Pt 3: Traffic Control Devices for Works on Roads' and be fully implemented.



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Sewer and Drainage

30. Prior to the commencement of works on site a detailed stormwater management plan is to be submitted to and approved by Parkes Shire Council's Director Engineering Services. The Stormwater management plan is to address stormwater runoff from the site is to detail how no contaminated stormwater will leave the site. Stormwater infrastructure shall cater for a 1 in 10 year ARI storm event without surcharge. The stormwater management plan shall address a detailed design of the proposed stormwater drainage system, which shall include hydraulic design calculations, surface and invert levels, pipe sizes and grades for 1:10yr ARI rainfall event. The storm water management plan shall detail overland storm water paths for a 1 in 100 year ARI storm event. Any proposed stormwater first flush system, harvesting and reuse is to be outlined in the stormwater management plan.

Damage to Council Assets

31. Any damage caused to kerb & gutter, roadways, utility installations and the like by reason of construction operations shall be made good and repaired to a standard equivalent to that existing prior to commencement of construction.

Note: The full cost of restoration/repairs of property or services damaged during the works shall be met by the Applicant.

Prior to Occupation or Commencement of Use

32. The Applicant must not commence occupation or use of the premises until an Occupation Certificate has been issued from the Principal Certifying Authority appointed for the subject development.

Prescribed conditions under the Environmental Planning and Assessment Regulation 2000

Compliance with Building Code of Australia

33. A development consent for development that involves any building work must be issued subject to the following conditions:
- (a) that the work must be carried out in accordance with the requirements of the *Building Code of Australia*, in force on the date of the application.
 - (b) in the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance must be entered into and be in force before any building work authorised to be carried out by the certificate commences.

Note: This condition does not limit any other conditions to which a complying development certificate may be subject, as referred to in section 85A (6) (a) of the Act.



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- Note: This condition does not apply:
- (a) to the extent to which an exemption is in force under clause 187 or 188, subject to the terms of any condition or requirement referred to in clause 187 (6) or 188 (4), of the Environmental Planning and Assessment Regulation 2000, or
 - (b) to the erection of a temporary building, other than a temporary structure that is used as an entertainment venue.

Note: In this condition, a reference to the *Building Code of Australia* is a reference to that Code as in force on the date the application for the relevant complying development certificate is made.

Erection of signs

34. A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
- (a) showing the name, address and telephone number of the principal certifying authority for the work, and
 - (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

Note: This condition does not apply in relation to building work, subdivision work or demolition work that is carried out inside an existing building, that does not affect the external walls of the building.

Note: This condition does not apply in relation to Crown building work that is certified, in accordance with section 109R of the Act, to comply with the technical provisions of the State's building laws.

Note: This condition applies to a complying development certificate issued before 1 July 2004 only if the building work, subdivision work or demolition work involved had not been commenced by that date.

Note: Principal certifying authorities and principal contractors must also ensure that signs required by this clause are erected and maintained (see clause 227A which currently imposes a maximum penalty of \$1,100).

Condition relating to shoring and adequacy of adjoining property

35. Where development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the certificate must at the person's own expense:
- (a) protect and support the adjoining premises from possible damage from the excavation, and
 - (b) where necessary, underpin the adjoining premises to prevent any such damage.



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Note: This condition does not apply if the person having the benefit of the complying development certificate owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

Attachments

1. Initial Statement of Environmental Effects
2. Additional Information SOEE submitted 11 February 2014
3. Geolyse Submission Regarding Proposed Output Reduction
4. Submission Origin Energy
5. Late Submission Rosanne Jones
6. Geolyse Response to Origin Submission
7. EPA Letter Advising Development requires Licence Dated 3 April 2014
8. Geolyse Confirmation that Development does not require Licence
9. Letter from EPA dated 7 April 2014
10. EPA response Dated 11 April 2014

All attachments distributed separately.



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1. Initial SOEE



**STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT**

PREPARED FOR
CIVIL INDEPENDENCE NSW

DECEMBER 2013



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STATEMENT OF ENVIRONMENTAL EFFECTS

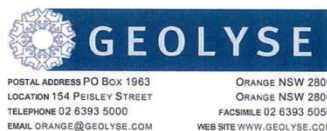
PROPOSED ASPHALT HOT MIX PLANT

27-31 MATTHEWS STREET, PARKES
LOT 2 IN DP1073363

PREPARED FOR:

CIVIL INDEPENDENCE NSW

DECEMBER 2013



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STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

Report Title:	<i>Statement of Environmental Effects</i>
Project:	<i>Proposed Asphalt Hot Mix Plant</i>
Client:	<i>Civil Independence NSW</i>
Report Ref.:	<i>213265_SEE_001A.docx</i>
Status:	<i>Final</i>
Issued:	<i>24 December 2013</i>

Geolyse Pty Ltd and the authors responsible for the preparation and compilation of this report declare that we do not have, nor expect to have a beneficial interest in the study area of this project and will not benefit from any of the recommendations outlined in this report.

The preparation of this report has been in accordance with the project brief provided by the client and has relied upon the information, data and results provided or collected from the sources and under the conditions outlined in the report.

All maps, plans, and cadastral information contained within this report are prepared for the exclusive use of Civil Independence NSW to accompany this report for the land described herein and are not to be used for any other purpose or by any other person or entity. No reliance should be placed on the information contained in this report for any purposes apart from those stated therein.

Geolyse Pty Ltd accepts no responsibility for any loss, damage suffered or inconveniences arising from, any person or entity using the plans or information in this study for purposes other than those stated above.

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STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

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APPENDICES

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AHIMS Database Search Result

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STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

Introduction

1.1 BACKGROUND

Geolyse Pty Ltd has been commissioned by Civil Independence NSW to prepare a Statement of Environmental Effects (SEE) to accompany a Development Application (DA) for proposed asphalt plant to be located at Lot 2 in DP1073363, known as 27-31 Matthews Street, Parkes.

1.2 SCOPE OF THIS REPORT

This SEE has been prepared pursuant to Clause 50 and Part 1 of Schedule 1 of the *Environmental Planning and Assessment Regulation 2000* and is provided in the following format.

- **Section 2** of this report provides a description of the subject site and its locality.
- **Section 3** outlines the proposed development.
- **Section 4** details the planning framework applicable to the subject site and proposed development.
- **Section 5** identifies the impacts of the proposed development.
- **Section 6** provides a conclusion to the SEE.

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STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

The Site & Its Locality

2.1 THE SITE

The site the subject of this application is located within the Parkes Industrial Estate, with a 75.955 metre frontage to Matthews Street.

The site has an area of approximately 6000 square metres and is currently undeveloped. The site has an external chainlink fence and single access driveway.

The site is accessed from Matthews Street, a local road that links to Royal Street and Renshaw Road. The broader industrial estate is accessed from Saleyards Road in the south and Clarke Street in the north, both of which link to the nearby Newell Highway.

Figure 1 and Drawing 03A_A01 depicts the site in the context of the immediate locality.



Figure 1: The subject site, outlined in red (Source: Six Maps)

2.2 THE LOCALITY

The surrounding locality is characterised by the industrial land uses forming part of the existing Parkes Industrial Estate. Located 255 metres to the north of the property is land zoned for R1 – General Residential however currently operating for industrial purposes.

The Parkes Stockinbingal Railway Line is located approximately 300 metres to the west of the site and the Newell Highway is located 680 metres to the east.

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STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE, NSW

The Development

3.1 DEVELOPMENT DESCRIPTION

This application seeks consent for the proposed development of an asphalt hot mix plant with a proposed capacity of 29,000 tonnes per year, and less than 150 tonnes per day.

The application seeks consent for operation 24 hours per day and seven days per week, however it is not anticipated that this operating schedule would be the typical arrangement. More regularly the plant would operate standard day time hours, being 6am – 6pm, Monday to Friday and 6am – 2pm on Saturdays. The additional hours and days are sought to ensure that, should additional working hours be required for the delivery of a specific contract, such timing would be possible without the need to modify any consent.

The proposed site development would involve the erection of a static Mobimix90 hot mix asphalt plant together with an office building, laboratory/shipping container, carport, shipping container for storage, bitumen/fuel tanks, aggregate stockpile bays, detention basin, first flush pond, weighbridge and associated parking; details are provided as set out in **Drawing 03A_A03**.

All proposed buildings would be prefabricated and set on piers, with the exception of the proposed carport structure; this would connect the two shipping containers.

This application seeks consent to close the existing driveway access and provide two new access points to facilitate the efficient flow of vehicles through the site – refer **Drawing 03A_A03**.

The hot mix plant produces asphalt using various raw materials according to a number of specific mix designs. The approximate quantity of each raw material used can be broken down as shown in **Table 3.1**.

Table 3.1 – Ingredient ratio

Material	Percentage (%)	Volume per year (tonnes) (based on output of 29,000 tonnes per year)
Bitumen	5	1,450
Filler	2.5	725
Diesel (Flux)	1	290
Coarse & Fine Aggregates	91.5	26,535
TOTAL	100	29,000

Source: Civil Independence NSW

Based on the proposed volume of output per year, and the above proportions, estimates can be provided for heavy vehicle traffic movements into and out of the facility – refer **Section 5.3**.

The development would also include spray sealing and asphalt laying operations which would include various plant and equipment such as asphalt pavers, sprayers, trucks, rollers and other associated plant. These would be stored within the site as identified on **Drawing 03A_A03**.

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Statutory Planning Framework

4.1 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

4.1.1 AIMS & OBJECTIVES

In New South Wales (NSW), the relevant planning legislation is the *Environmental Planning and Assessment Act 1979* (EP&A Act). The EP&A Act instituted a system of environmental planning and assessment in NSW and is administered by the Department of Planning (DoP). The objects of the EP&A Act are:

- (a) to encourage:
 - (i) the proper management, development and conservation of natural and artificial resources, including agricultural land, natural areas, forests, minerals, water, cities, towns and villages for the purpose of promoting the social and economic welfare of the community and a better environment,
 - (ii) the promotion and co-ordination of the orderly and economic use and development of land,
 - (iii) the protection, provision and co-ordination of communication and utility services,
 - (iv) the provision of land for public purposes,
 - (v) the provision and co-ordination of community services and facilities, and
 - (vi) the protection of the environment, including the protection and conservation of native animals and plants, including threatened species, populations and ecological communities, and their habitats, and
 - (vii) ecologically sustainable development, and
 - (viii) the provision and maintenance of affordable housing, and
- (b) to promote the sharing of the responsibility for environmental planning between the different levels of government in the State, and
- (c) to provide increased opportunity for public involvement and participation in environmental planning and assessment.

4.1.2 SECTION 5A

Section 5A of the EP&A Act requires consideration of whether there is likely to be a significant effect on threatened species, populations or ecological communities, or their habitats as a result of the proposed development. The proposed development is unlikely to have an adverse impact on threatened species, populations or ecological communities, or their habitats.

4.1.3 SUBORDINATE LEGISLATION

The EP&A Act facilitates the preparation of subordinate legislation, consisting of:

- Environmental Planning Instruments (EPIs) (including State Environmental Planning Policies (SEPP), Local Environmental Plans (LEP), and deemed EPIs); and
- Development Control Plans (DCP).

In relation to the proposed development, the relevant subordinate legislation includes:

- *State Environmental Planning Policy (Infrastructure) 2007*;
- *State Environmental Planning Policy 33 – Hazardous and Offensive Development*;
- *Parkes Local Environmental Plan 2012*; and
- *Parkes Development Control Plan 2013*.

The requirements of these are discussed in the following sections.

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4.1.4 INTEGRATED DEVELOPMENT

Section 91 of the EP&A Act states that development requiring consent and another activity approval is defined as Integrated Development. The proposed development is not classified as Integrated Development.

For the avoidance of doubt, the following is noted:

- The development is not considered to represent a designated development on the basis that it seeks consent to produce less than 30,000 tonnes per year and 150 tonnes per day, and is greater than 250 metres from a residential dwelling or a residential zone, by reference to clause 5 of Schedule 3 of the Environmental Planning and Assessment Regulations 2000 (EP&A Regs) – refer **Section 4.1.5**; and
- An approval under the *Protection of the Environment Operations Act 1997* (POEO Act) is not required on the basis that the development does not trigger the scheduled operations provisions outlined in Clause 31 of Schedule 1 of the POEO Act – refer **Section 4.1.6**.

4.1.5 DESIGNATED DEVELOPMENT

Section 77A of the EP&A Act specifies that development is designated development where it is declared to be designated development by an EPI or the regulations. Schedule 3 of the regulations prescribes designated development with respect to bitumen pre-mix and hot-mix industries. The relevant triggers for designated development set out in Clause 5 of Schedule 3 are:

- an intended production capacity of more than 150 tonnes per day or 30,000 tonnes per year; or
- that are located within 100 metres of a natural waterbody or wetland, or within 250 metres of a residential zone or dwelling not associated with the development.

The proposed plant would not have an intended production capacity of more than 150 tonnes per day or 30,000 tonnes per year, and is not located within 100 metres of a natural waterbody or wetland, or within 250 metres of a residential zone or dwelling not associated with the development. The distance from the site to the residential zone to the north has been surveyed and found to be 255 metres; the nearest occupied residence is located within the industrial zone and is located 321 metres from the site.

On the above basis, the development is understood to not represent designated development.

It is understood that any future increase in proposed production capacity would necessitate a further development application, and potentially preparation of an Environmental Impact Statement.

4.2 PROTECTION OF THE ENVIRONMENT OPERATIONS ACT 1997

The *Protection of the Environment Operations Act 1997* (POEO Act) identifies developments that are 'scheduled' and require that an Environment Protection Licence (EPL) be gained. There is no specific definition of asphalt hot mix plant within Schedule 1 of the current POEO Act, however it is noted that a definition for bitumen pre-mix and hot-mix industries was included in the as-made version of the Act. The current version of the Act contains a definition at Clause 31 of Petroleum and Fuel Production, which states:

(1) This clause applies to the following activities:

crude oil/shale oil production, meaning the production, otherwise than in the course of exploratory activities, of crude petroleum or shale oil.

natural gas/methane production, meaning the production of natural gas or methane (other than coal seam gas).

petroleum products and fuel production, meaning the production of petroleum products (including aviation fuel, petrol, kerosene, mineral turpentine, fuel oils, lubricants, wax, bitumen, liquefied gas and the

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STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT
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precursors to petrochemicals, such as acetylene, ethylene, toluene and xylene), whether by means of any of the following or otherwise:

- (a) refining (such as in the processing of crude petroleum or shale oil),
- (b) fermentation (such as in the production of ethanol),
- (c) esterification (such as in the production of biodiesel),
- (d) blending (such as in the production of lubricants and fuels).

(2) Each activity referred to in Column 1 of the Table to this clause is declared to be a scheduled activity if it meets the criteria set out in Column 2 of that Table.

Column 1	Column 2
Activity	Criteria
crude oil/shale oil production	any production capacity
natural gas/methane production	capacity to produce more than 5 petajoules of natural gas or methane per year
petroleum products and fuel production	capacity to produce more than 100 tonnes of petroleum products or fuel per year

Note. Clause 47A of the Protection of the Environment Operations (General) Regulation 2009 contains an exemption from any requirement to be licensed to produce petroleum products by the blending of petroleum fuel with ethanol or biodiesel if:

- (a) that activity is carried on at a petroleum fuel storage terminal, and
 - (b) the occupier of the terminal holds a licence that authorises petroleum products storage.
- Petroleum products storage meeting the criteria set out in clause 9 of this Schedule is a scheduled activity under that clause.

It is unclear whether the proposed activity falls into the above definitions however, in any event, the volumes proposed are under the trigger amounts identified and therefore an EPL is not considered to be required.

4.3 ENVIRONMENTAL PLANNING INSTRUMENTS

4.3.1 STATE ENVIRONMENTAL PLANNING POLICY

4.3.1.1 State Environmental Planning Policy (Infrastructure) 2007

Clause 104 of the *State Environmental Planning Policy (Infrastructure) 2007* (ISEPP) specifies that development which is considered to represent a traffic generating use requires specific referral to the Roads and Traffic Authority (now Roads and Maritime Services). Schedule 3 of the ISEPP identifies trigger limits for different development types for this referral. For industry the trigger is 20,000 square metres of development. On the basis that the site constitutes an area of less than 20,000 square metres, the development is not considered to represent traffic generating development, and specific referral to RMS is not required.

4.3.1.2 State Environmental Planning Policy 33 – Hazardous and Offensive Development

The *State Environmental Planning Policy 33 – Hazardous and Offensive Industries* (SEPP33) applies to all development that is either hazardous or offensive, or has the potential to be hazardous or offensive.

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STATEMENT OF ENVIRONMENTAL EFFECTS
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The supporting guidelines *Applying SEPP33: Hazardous and Offensive Development Application Guidelines* (the Guidelines) development by the Department of Planning (2011) provides additional guidance on applying SEPP33. The Guidelines states that the initial test in determining if SEPP33 applies is to be first confirm whether the development is either an industry or whether it is a 'storage establishment'. By reference to **Section 4.2.2.2** it is apparent that the development is classed as an industry by virtue of being an industrial activity.

Table 4.1 lists the materials and quantities that may be stored on site at any one time. The Australia Dangerous Goods Code (7th Edition) provides details of the classifications for dangerous goods. This information is summarised in **Table 4.1**.

Table 4.1 – Dangerous goods

Material	Amount (litres)	Dangerous Goods Classification	Packing Group
Diesel	20,000	3	III
Bitumen	90,000	3	II
Emulsion (emulsified bitumen and water)	20,000	3	II
Weed killer	20	-	-
Truck wash	20	-	-
Paint (enamel touch up)	10	3	I (or II)
Paint thinners	20	3	I (or II)
General domestic cleaning fluids	Not identified	-	-

Source: Applicant and Australian Dangerous Goods Code

WorkCover NSW identifies that where dangerous goods are used in volumes greater than the thresholds, that WorkCover must be notified, and manifests and emergency plans must be developed. The relevant thresholds are replicated in **Table 4.2** below. It is noted that several of the materials exceeds these thresholds and therefore the WorkCover obligations apply.

Table 4.2 – WorkCover Notification Thresholds for Dangerous Goods

Dangerous Goods	Packing Group	Manifest Threshold Quantities
Class 2.1	N/A	5000 L
Class 2.2	N/A	10,000 L
Class 2.2/5.1	N/A	10,000 L
Class 2.3	N/A	500 L
Aerosols	N/A	10,000 L
Cryogenic fluids	N/A	10,000 L
Class 3, 4.1, 4.2, 4.3, 5.1, 5.2, 6.1 or 8	I II III Mixed packing groups in a single Class with each below the relevant threshold	500kg or L 2,500 kg or L 10,000 kg or L 10,000 kg or L
Class 9	I II Mixed Packing Groups in Class 9, with each below the relevant threshold	10,000 kg or L 10,000 kg or L 10,000 kg or L
C1 Combustible Liquids Stored with other fire risk dangerous goods	Stored with other fire risk dangerous goods	10,000 kg or L
C1 combustible liquids stored separately	N/A	100,000 kg or L
Goods too dangerous to be transport that are not kept in a laboratory	N/A	Any quantity

Source: Applying SEPP33 Guidelines 2011

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STATEMENT OF ENVIRONMENTAL EFFECTS
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CIVIL INDEPENDENCE NSW

A screening exercise has been undertaken to determine whether SEPP33 is relevant, and a summary of the results is provided in **Table 4.3**. This has been prepared with an understood setback to boundaries for the fuel and bitumen storage containers of 15 metres – refer **Drawing 03A_A03**.

Table 4.3 – SEPP33 Screening – Material Details

Material	DG Class	Qty (litres)	Screening Method	Threshold	Notes
Diesel	3	20,000	Figure 9 graph	100	Below threshold the
Bitumen	3	90,000	Figure 9 graph	100	Below threshold the
Emulsion (emulsified bitumen and water)	3	20,000	Table 3	100	Below threshold the
Weed killer	-	20	-		N/A
Truck wash	-	20	-		N/A
Paint (enamel touch up)	3	10	Figure 8 graph		Below threshold the
Paint thinners	3	20	Figure 8 graph		Below threshold the
General domestic cleaning fluids	-	Not identified	-		N/A

Source: Applying SEPP33 Guidelines 2011

As per the above, the development is not deemed potentially hazardous and therefore a preliminary hazard assessment is not required.

4.3.2 PARKES LOCAL ENVIRONMENTAL PLAN 2012

4.3.2.1 Background

The *Parkes Local Environmental Plan 2012* (LEP) is the relevant local environmental planning instrument applying the site. The mapping associated with the LEP has been reviewed and reveals the following relevant information.

Table 4.4 – Local Environmental Plan Mapping Constraints

Map	Relevance	Section of report discussed
Land Application Map	The site is within the Parkes Local Government Area	No discussion required
Land Zoning Map	The site is zoned IN1 – General Industrial	Section 4.2.2.2
Lot Size Map	The applicable minimum Lot Size is 1,500 square metres	Section 4.2.2.3
Heritage Map	There are no heritage sites on or in the vicinity of the site	No discussion required
Land Reservation Acquisition Map	The site is not reserved for acquisition	No discussion required
Groundwater Vulnerability Map	The site is not located within an area of Groundwater vulnerability	No discussion required
Parkes Township Buffer Map	The site is not located within either of the Parkes Township buffers	No discussion required
Terrestrial Biodiversity Map	The site does not contain any identified terrestrial biodiversity	No discussion required
Watercourse Map	The site does not contain, and is not located near to, any sensitive watercourse	No discussion required
Wetlands Map	The site does not contain, and is not located near to, any wetlands	No discussion required

Source: Parkes Local Environmental Plan 2012

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PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

4.3.2.2 Land Zoning

Pursuant to the LEP the site is zoned IN1 – General Industrial.

The objectives of the IN1 zone are:

- To provide a wide range of industrial and warehouse land uses.
- To encourage employment opportunities.
- To minimise any adverse effect of industry on other land uses.
- To support and protect industrial land for industrial uses.
- To create high quality working and business environments.
- To locate industrial land that reinforces links between the Parkes Hub, the Parkes Industrial Estate and other key infrastructure.
- To encourage industrial development that responds to site characteristics, considers visual impacts of built form and does not conflict with adjoining land uses.
- To facilitate industrial development that supports regional economic influences.
- To support existing industry sectors in Parkes that are key economic drivers.
- To provide for industrial uses in close proximity to transport infrastructure.
- To enable other land uses that provide facilities or services to meet the day to day needs of workers in the area.
- To accommodate larger industries or those that could potentially create a nuisance in locations separated from residential areas but accessible to the workforce.
- To enable development that is associated with, ancillary to, or supportive of, industry or industrial employees.
- To encourage a range of uses that provide specialist goods and services to the region's farmers and agricultural enterprises.

The proposed development is considered to be an industrial activity for the purposes of the LEP. The LEP defines an industrial activity as:

Industrial activity means the manufacturing, production, assembling, altering, formulating, repairing, renovating, ornamenting, finishing, cleaning, washing, dismantling, transforming, processing, recycling, adapting or servicing of, or the research and development of, any goods, substances, food, products or articles for commercial purposes, and includes any storage or transportation associated with any such activity.

An industrial activity is permitted with consent in the IN1 zone.

The proposed development is not antipathetic to any of the above stated zone objectives. Given the nature of the proposed use, the industrial zone is the logical place for the development to be located.

4.3.2.3 Minimum Lot Size

The applicable minimum lot size is 1,500 square metres. No subdivision is proposed via this application and as such the minimum lot size is not considered relevant.

4.3.2.4 Height of Buildings

The Council has not adopted the height of buildings clause within the LEP and as such there is no applicable maximum building height set by the LEP.

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4.3.2.5 Earthworks

The site is relatively flat and level, with a maximum elevation of 326.23m AHD in the far southern corner, and a minimum elevation of 324.60m AHD in the far northern corner (refer **Drawing 03A_A02**). It is not anticipated that significant earthworks would be required to facilitate the proposed development.

4.3.3 DEEMED ENVIRONMENTAL PLANNING INSTRUMENTS

There are no deemed environmental planning instruments that apply to the site.

4.4 DRAFT ENVIRONMENTAL PLANNING INSTRUMENTS

There are no draft environmental planning instruments applying to the site.

4.5 DEVELOPMENT CONTROL PLANS

4.5.1 PARKES INDUSTRIAL ESTATE DEVELOPMENT CONTROL PLAN 1998

The Parkes Industrial Estate Development Control Plan 1998 (DCP) is the applicable plan applying to the development site.

Table 4.2 provides a summary of the matters arising out of the DCP of relevance to this application together with a response to those matters.

Overall it is considered that the proposed development is acceptable within the context of the provisions of the DCP.

Table 4.5 – DCP Provisions

Provision	Response	Compliance
Boundary setbacks – a minimum building line of 7.5 metres is to be provided from the front property boundary. Side and rear setbacks will be assessed on their merits.	This would be achieved.	✓
Street elevations would be constructed of face brick, together with the first five metres of side returns. Other materials may be acceptable in conjunction with brick or masonry, as long as a reasonable proportion is brick or masonry.	Buildings would be pre-fabricated and as such would not have masonry facades as required by the DCP. However extensive landscaping is proposed within the front setback to provide an attractive outlook and soften the appearance of the proposed use.	Departure Sought
Mesh fencing around the property is encouraged. Full details to be provided in any application.	Existing mesh fencing would be retained.	✓
Provide full details of open storage areas. Effective screening to be provided so as to be out of sign of any public road or reserve	Storage of hot mix materials (refer Table 3.1) would primarily be provided in the storage bins in the south-western corner of the property. These are suitably located away from the public domain to ensure that they do not detrimentally impact on visual amenity.	✓

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Table 4.5 – DCP Provisions

Provision	Response	Compliance
Provide full details of access, parking, loading and unloading areas.	Provided – refer Drawing 03A_A03 and Section 5.3.	
All services shall be sealed and line-marked.	This would be achieved.	
Driveways shall be a minimum width of 4.5 metres for one way, or 6 metres for two way.	This would be achieved – refer Drawing 03A_A03.	
Number of car parking spaces shall be in accordance with Council's car parking code. Parking spaces shall be grouped.	The Parkes Car Parking Code Development Control Plan provides basic rates for warehouses and factories, repair workshops, spare part sales and hardware and open storage activity. As the development does not logically meet one of these definitions, the RTA Guide to Traffic Generating Development has been consulted. A detailed summary of parking and traffic generation rates are outlined in Section 5.3.	✓
Traffic generating developments to be referred to the RMS for comment.	Refer Section 4.2.1.1. Development does not meet the relevant triggers to be considered a traffic generating development and as such, referral to RMS is not required.	N/A
Landscaping details shall be provided in the form of a landscape plan. Adequate provision of landscaping along street elevations.	Refer Drawing	✓
All stormwater from roofs, sealed areas and other impervious surfaces shall be drained to convey stormwater to approved discharge points. On site drainage facilities shall be designed to manage a 1 in 10 years ARI.	This would be achieved.	✓
Industrial developments will be required to connect to Council's sewerage system.	This would be achieved.	✓
Industrial development will be required to connect to Council's water system	This would be achieved.	✓
Advertising may only be erected where consistent with the LEP and the Outdoor Advertising Code	The current application does not seek consent for any signage; this would be the subject of a future application.	N/A
Emission of air impurities is to be strictly controlled in accordance with the Clean Air Act 1961 (now the Protection of the Environment Operations Act 1997). An Environment Protection Licence may be required for some operations.	Discussions with the Council have confirmed that an EPL is not required for the development. Notwithstanding, air quality impacts have been considered at Section 5.10.	N/A
Compliance with the relevant provisions of the applicable noise legislation and policies. Industries shall be conducted to avoid unreasonable noise and interference to adjacent or adjoining land uses	Discussions with the Council have confirmed that an EPL is not required for the development. Notwithstanding, noise and vibration impacts have been considered at Section 5.16.	N/A
Waste waters generated from or by industrial premises are not permitted to be discharged onto the site, nor onto any neighbouring land, drain, pipeline or water course. Some premises may be subject to an EPL.	The development would provide a first flush pond for the capture of stormwater run-off together with a detention basin to capture site water. Water would be controlled discharged from this system into the Council's stormwater management system via an easement to the west, entering the Council's stormwater system on Ackroyd Street.	✓

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Table 4.5 – DCP Provisions

Provision	Response	Compliance
Where a development involves the storage of hazardous goods or chemicals, full details are to be provided with the DA, together with storage locations and use.	The development involves the use and storage of goods that are classified dangerous goods, as per the <i>Australian Dangerous Goods Code</i> . Refer Section 4.3.1.2. WorkCover would require notification prior to operations, and manifests and management plans must be developed before storage of the hazardous goods at the site. Storage of the hazardous goods is detailed on Drawing 03A_A03.	✓
All noise, air and water emission control facilities and equipment will be expected to be upgraded where necessary over time, having regard to advances in technology, changes in environmental standards and/or changes in surrounding land use patterns.	Noted	N/A

Source: Parkes Industrial Estate Development Control Plan 1998

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Impacts

5.1 INTRODUCTION

Pursuant to Schedule 1 of the EP&A Regulation, this section of the report outlines the environmental impacts of the proposed development and any measures required to protect the environment or lessen the harm to the environment.

The impacts have been identified through an assessment of the proposed development against the provisions of section 79C(1)(b) and the former NSW Department of Urban Affairs and Planning's (nd) *Guide to Section 79C*.

5.2 CONTEXT AND SETTING

Surrounding land uses are characterised by a suite of long established industrial activities and premises forming part of the existing Parkes Industrial Estate. Within the immediate vicinity these include: Origin's natural gas storage and supply, welding and engineering services and supplies, agriculture supplies, construction and mechanical supplies, wreckers, mechanical repairs workshop, and the Rural Fire Service.

Located 255 metres to the north of the property is land zoned for R1 – General Residential however it is noted that the closest buildings within this zone appear to be currently operating for industrial purposes. The closest residential dwellings are located 570 metres to the north-east and 320 metres to the north-west of the subject site – refer **Figure 2**.

The Parkes Land Use Strategy 2012 identifies the need to support existing and encourage emerging industry sectors in the Parkes Township. PSC engaged ADW Johnson to prepare a *Masterplan for the Parkes Industrial Estate*, issued as final in February 2013.

The land located approximately 120 metres to the south-west of the property is zoned as RU1 – Primary Production, however the Land Use Strategy currently proposes that it be rezoned to industrial land (refer **Figure 2**) consistent with the recommendations of the *Masterplan for the Parkes Industrial Estate*.

The Parkes Stockinbingal Railway Line is located approximately 300 metres to the west of the site and the Newell Highway is located 680 metres to the east - refer **Figure 1**.

Visually the proposed hot mix plant will be consistent with the existing features of the landscape, including the industrial character and amenity of the locality and streetscape.

The proposed hot mix plant is broadly compatible with the provisions of the Parkes Industrial Estate DCP which deals with the potential impact in terms of affecting adjacent properties – refer **Section 4.5.1**.

The proposed hot mix plant will not degrade any visual amenity values.

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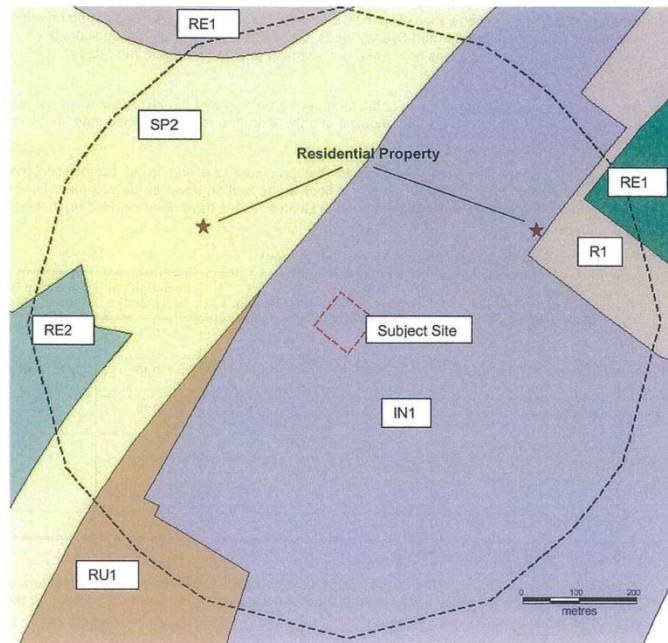


Figure 2: Land use zoning around the subject site

5.3 ACCESS, TRANSPORT AND TRAFFIC

5.3.1 ACCESS

Access to the site is via Matthews Street, off the Newell Highway via either Saleyards Road or Royal Street – refer Figure 3. The site has a 75.9 metre frontage to Matthews Street, from which the proposed development would be accessed. The site currently has a single crossover, however this would be closed and replaced with two crossovers, to be used for dedicated one direction traffic flow – refer Drawing 03A_A03. This provides improved access to the site and traffic flows within the site.

5.3.2 TRAFFIC GENERATION

The RTA Guide to Traffic Generating Development 2002 (the 2002 Guide) identifies a range of Daily Vehicle Trip (DVT) figures for various industrial land uses, including factories. Within the factory category vehicle trip generation are provided for various industries. For chemical, petroleum and coal products, employee density and commercial vehicle generation rates are both identified as low. On average the Guide identifies DVT at 5 per 100 square metres of gross floor area, with an evening peak

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hour vehicle trip rate of 1 per 100 square metres of gross floor area. The Guide was updated in 2013 with new figures for trip generation. Appendix E to the 2013 *Guide to Traffic Generating Developments* (the 2013 Guide) identifies, for non-Sydney areas, that industrial land uses had an average DVT of 7.9 per 100 square metres of gross floor area, and evening peak hour vehicle trip rates of 0.98 per 100 square metres of gross floor area.

It is noted however that the majority of the land uses identified with the 2013 Guide are not factories, but more so offices, retailers and warehouses and therefore the rates prescribed may not be relevant to this development.

Gross floor area is difficult to determine for the proposed use due to its composition, however Table 5.1 provides an indicative summary of floor areas broken down by development component, and identifying the rates from the 2002 and 2013 Guides. Totals have been rounded up to the nearest whole number.

Table 5.1 – Traffic Generation Breakdown (excluding plant)

Development Component	Floor Area (m ²)	DVT (5/100m ²)	DVT (7.9/100m ²)	Evening Peak (1/100m ²)	Evening Peak (0.98/100m ²)
Office	6x3 = 18	0.9	1.4	0.18	0.18
Laboratory	6.1x2.44 = 14.9	0.75	1.2	0.15	0.15
Storage container	6.1x2.44 = 14.9	0.75	1.2	0.15	0.15
Carports	5.6x6.1= 34.2 + 1.5x3= 4.5 =38.7	1.94	3.1	0.39	0.38
TOTAL	86.5	5	7	1	1

Source: Civil Independence NSW Site Plan

Based on the above, it is apparent that traffic generation levels associated with the office functions of the development are generally low, and should be well within the environmental capacity of the road network to accommodate.

Taking a practical approach to traffic movements in respect of the hot mix plant, it is possible to determine average daily heavy vehicle movements by reference to incoming volumes of materials and outgoing volumes of asphalt. Ratios of product required to prepare an asphalt output is set out in Section 3.1. It is understood that an average heavy vehicle either delivering product to the facility, or removing asphalt from the facility would have a capacity of approximately 25 tonnes. Using the data outlined in Table 3.1 and this known vehicle capacity, Table 5.2 provides a summary of incoming and outgoing heavy vehicles and also provides a predication of vehicle movements (equating to two movements per vehicle).

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Table 5.2 – Yearly Volumes of Materials

Material	Volume per year (tonnes) (based on output of 29,000 tonnes per year)	Heavy Vehicles In (per year)	Heavy Vehicles Out (per year)
Bitumen	1,450	58	
Filler	725	29	
Diesel (Flux)	290	12	
Aggregates	26,535	1061	
TOTALS	29,000	1,160	1,160
Diesel (Heating)	225	10	
Emulsion	75	3	
TOTAL VEHICLE MOVEMENTS		2,346	2,346

Figure 3 shows indicative routes to access the proposed site.



Figure 3: Likely access routes to the subject site

Given the layout of the industrial estate and the proximity to the Newell Highway, it is anticipated that movements would be shared at a ratio of approximately 70/30 between these routes, accounting for traffic arriving from the east, west and north (70%) and traffic from the south (30%).

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Average Annual Daily Trip (AADT) figures have been determined using the data from **Tables 5.1 and 5.2**, and an assumption of 5.5 days within a working week. Figures are provided for AADT and peak hourly movements (phm); phm is derived based on 15% of the AADT and this approach is consistent with advice contained within the 2002 RTA Guide. Overall traffic movements per year are therefore determined on the following basis:

Total movements per year = 2,346x2
 = 4,692

Working days per year = 52 weeks x 5.5 days
 = 286

AADT is therefore = 4692 / 286 + 7
 = 23.4

And Peak Hourly Volumes = 23.4 x 0.15
 = 3.51

Considering the industrial nature of the surrounding locality, the good connectivity offered by the Newell Highway and the low level of predicted movements, it is considered that the traffic generated by the development is well within the capacity of the local road network, and should not lead to any greater impacts.

5.3.3 CAR PARKING

The 2002 Guide prescribes that car parking should be provided at a rate of 1.3 spaces per 100 square metres of Gross Floor Area (GFA).

As noted in **Table 5.1**, the development results in 86.5 square metres of GFA for buildings and 95 square metres of GFA for plant, therefore requiring a total of 1.12 for buildings and 1.07 for plant, a total of 2.19 car parking spaces.

Approximately 2,000 square metres of space is set aside in the north eastern extent of the site to provide on-site parking for both light and heavy vehicles (refer **Drawing 03A_A03**), and this is considered to be sufficient to accommodate the use, based on discussions in this and the traffic generation sections of this report.

5.4 PUBLIC DOMAIN

The development is maintained within a single holding, comprising Lot 2 in DP1073363. Impacts to the public domain would be limited to traffic movements associated with the use – this is discussed in detail in **Section 5.3**.

The proposed development will not have an adverse impact on the public recreational opportunities in the locality, on the amount, location, design, or use and management of public spaces in and around the development, nor will pedestrian linkages and access between the proposed development and public areas be adversely affected.

5.5 SERVICING

The Parkes Industrial Estate is well serviced in terms of water supply, sewer, electricity and gas. Existing services would be augmented as required to facilitate the proposed development.

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5.5.1 WATER

The water required on site for operations and amenities would be sourced from the town water supply, with mains supply augmented to accommodate the proposed development requirements.

It is anticipated that approximately 60-90 kilolitres of town water will be required for production requirements. As the site will capture rain water and the plant can re-use water from the detention / first flush pit, all dust suppression water sprays will use this recycled water.

Stormwater would be managed as per the information provided in Section 5.8.2 and Section 5.13.

5.5.2 ELECTRICITY AND TELECOMMUNICATIONS

The site has access to electricity, with a transmission line running adjacent to Matthews Street. Telecommunication is available to the boundary of the subject site.

5.5.3 SEWER

The proponent has access to an existing sewer main running adjacent to the south-eastern property boundary. A proposed sewer connection would be made utilising the existing manhole on the south-eastern boundary (refer Drawings 03A_A02 and A03).

5.5.4 SECURITY

The site is fully fenced with a 1.8 metre high wire security fence, with a lockable gate at the site entrance off Matthews Street. This fence would be maintained, and adjusted to reflect the proposed layout.

5.6 HERITAGE

5.6.1 INDIGENOUS

A search of the Office of Environment and Heritage (OEH) Aboriginal Heritage Information Management System (AHIMS) did not reveal any sites of Aboriginal Heritage significance at or in the vicinity of the subject site – search results attached as Appendix A.

The subject site is within a highly disturbed and modified landscape. If Aboriginal sites or objects were to have been within the study area, they will have been affected by the industrial land use, either resulting in the total removal (scarred trees) or in their disturbance (artefact sites, ceremonial sites etc).

5.6.2 NON-INDIGENOUS

A review of the Parkes LEP and the state heritage register reveals no nearby sites of non-indigenous heritage within the identified area of the subject site.

5.7 OTHER LAND RESOURCES

The proposed hot mix plant will be designed and managed to ensure that the subject site is able to be returned to its former state with no land contamination that could limit the sites ability to be used in the future.

The proposed development would not limit the ability of the land to be used for minerals or extractive resources in the future.

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5.8 WATER

5.8.1 GROUNDWATER

A review of the Parkes LEP Groundwater Vulnerability Map reveals that the site is not mapped as being in an area of high groundwater vulnerability.

There is one groundwater bore within 500 metres of the subject site, and several within two kilometres of the subject site. The risk of groundwater impact is low given the adequate separation distance to nearby bores.

5.8.2 SURFACE WATER

The site is well removed from permanent water surface water sources and all on site waters would be discharged to the Council's stormwater system; therefore the impact of discharge from the site would be negligible in the catchment.

5.9 SOILS

The site is within the Parkes Soil Landscape (King 1998). Soil types of the Parkes Soil Landscape comprise shallow to moderately deep, moderately well-drained red earths and red podzolic soils/non-calcareous brown soils on sideslopes. Lower slopes have moderately deep imperfectly drained red brown earths.

The Parkes Soil Landscape is underlain by the Cotton Formation, Burrandong Creek Member and Parkes Volcanics comprising sedimentary rocks including siltstones, chert, conglomerates, sandstones, limestones and volcanic rocks including volcanic sandstones and intermediate volcanics.

The site is located within the lower slopes of the NSW South Western Slopes Biogeographic Region. Within this subregion Morgan and Terrey (1992) describe the soil environment as:

"Shallow stony soils on steep slopes, texture contrast soils grading from red subsoils on upper slopes to yellow subsoils on lower slopes, and extensive red-brown earths on undulating plains and extensive grey clays on alluvium. Alluvial sands, loams and clays."

The geology landform, soil and vegetation characteristics of the lower slopes is provided below (refer Table 5.3).

Table 5.3 – Geology and vegetation of the Lower Slopes subregion

Geology	Landform	Soils	Vegetation
Ordovician to Devonian folded and faulted sedimentary sequences with inter-bedded volcanic rocks and large areas of intrusive granites, and large areas of Tertiary and Quaternary alluvium.	Undulating and hilly ranges and isolated peaks set in wide valleys at the apices of the Riverina alluvial fans.	Shallow stony soils on steep slopes, texture contrast soils grading from red subsoils on upper slopes to yellow subsoils on lower slopes. Alluvial sands, loams and clays. Extensive red-brown earths on undulating plains and extensive grey clays on alluvium.	Dwyer's gum on granite, red ironbark on sedimentary rocks Hill red gum, white cypress pine and red stringy bark in the ranges. Grey box woodlands with yellow box, white cypress pine and belah on lower areas. Poplar box, kurrajong, wilga and red box in the north, limited areas of bull mallee, blue mallee, green mallee and congoo mallee in the central west. Myall, rosewood and yarran on grey clays, yellow box, poplar box, and belah on alluvial loams. River red gum on all streams with black box in the west with some lignum and river cooba.

Source: Morgan and Terrey, 1992

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5.10 AIR AND MICROCLIMATE

There are two issues regarding air quality impacts of the proposed asphalt plant:

- i) The main issue is dust, and the short and long term impacts associated with particulate emissions; and
- ii) The second is odour, associated with stack emissions of various organic chemicals, and also fugitive emissions of organic chemicals from unloading bitumen to plant, and loading the hot asphalt to trucks.

5.10.1 DUST

There are a number of potential sources of dust emissions that are managed by the process. Primarily aggregates used in the production of hot mix will typically have some surface dust from the crushing process (completed by others). To control any dust emissions at each point in the delivery and handling of the aggregate, the following measures are applied:

- *Aggregate deliveries:* All trucks delivering aggregates to site from quarry will be enclosed with tarpaulins. The quarry will follow their environmental guidelines related to delivery of product;
- *Dumping aggregates in cold feed bays:* Trucks will dump slowly into cold feed bays to reduce any dust emissions. A maintained water sprinkler system positioned on the cold feed bays will operate to reduce any dust emissions when required;
- *Dumping aggregates into cold feeder bins:* A front end loader will load aggregates from the bays and slowly dump the material into the feeder bins. The feed bins will discharge the product via a feed belt onto a conveyor to the drier drum. Where applicable and required water sprays may also be mounted in strategic locations to further suppress dust emissions; and
- *Conveyors and transfer points:* Where applicable and required all conveyors will be enclosed and have water sprays to control any dust emissions.

The Department of Environment and Conservation NSW (DEC) *Approved Methods for the modelling and Assessment of Air Pollutants* (August 2005) lists the statutory methods that are to be used to model and assess emissions of air pollutants from stationary sources in NSW. It is referred to in *Part 5: Air impurities from emitted activities and plant* of the Protection of the Environment Operations (Clean Air) Regulation 2010.

The DEC Approved Methods are consistent with the National Environmental Protection Measures for Ambient Air Quality (referred to as the Ambient Air-NEPMs). However, the DEC's criteria include averaging periods, which are not included in the Air-NEPMs and references to other measures of air quality, namely dust deposition and total suspended particulate matter (TSP).

Table 5.4 and Table 5.5 summarise the air quality goals for dust that are relevant to this development type. The air quality goals relate to the total dust burden in the air and not just the dust from the project. Therefore, some consideration of background levels needs to be made when using these goals to assess impacts.

Table 5.4 – Air Quality assessment criteria for particulate matter concentrations

Pollutant	Standard/Goal	Averaging Period	Agency
Total suspended particulate matter	90 µg/m ³	Annual mean	NHMRC
	50 µg/m ³	24-hour maximum	NSW DEC
Particulate matter < 10µm (PM ₁₀)	30 µg/m ³	Annual Mean	NSW DEC long-term reporting goal
	50 µg/m ³	24-hour average, 5 exceedences permitted per year	NEPM

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In addition to health impacts, airborne dust also has the potential to cause nuisance impacts by depositing on surfaces and possibly vegetation/crops. Table 5.5 shows the dust deposition criteria set out in the DEC procedures for modelling air pollutants from sources (NSW DEC, 2005).

Table 5.5 – NSW DEC criteria for dust fallout

Pollutant	Averaging Period	Maximum increase in deposited dust level	Maximum total deposited dust level
Deposited dust	Annual	2 g/m ² /month	4 g/m ² /month

Source: NSW DEC 2005

Dust emissions on site would be continuously monitored and any complaints recorded. Upon the receipt of a complaint, the dust source would be investigated and mitigation measures implemented where required.

5.10.1.1 Other Pollutants

In addition to the assessment criteria for particulate matter, ground-level concentration (GLC) criteria are specified by NSW DEC for odorous and toxic air pollutants. The relevant pollutants are:

- Products of combustion
 - Carbon dioxide
 - Nitrogen oxides
 - Sulphur oxides
 - Carbon monoxide;
- Organic compounds, including volatile organic compounds (VOCs); and
- Air toxics.

The plant contains an integrated emissions monitoring system that continuously monitors emissions and sends information to the control room. Monitoring of these levels ensures that any increases in emissions can be identified quickly, and actions taken to minimise impacts. Sudden increases to emissions would trigger automated plant shutdown to minimise impacts to the air quality environment. The applicant has no objection to providing records of emissions to Council if and when requested to ensure that levels are within acceptable levels.

5.10.2 ODOUR

Odour sources are the organic vapours from the drier drum, bitumen tanks and the hot storage bins. The asphalt plant will utilise a range of industry best practice technologies and practices to minimise emissions:

- Hot oil heating system for kettles set on minimum practical operational temperatures for normal process requirements;
- Over temperature alarms and auto shut off for hot oil system;
- Gaskets on kettle hatches;
- Enclosed slat conveyor;
- Enclosed hot storage silos; and
- All trucks carrying hot mix asphalt to cover loads with tarpaulins.

Odour would be continuously monitored by recording complaints received. Upon receipt of a complaint, the odour source would be investigated and mitigation measures implemented where required. The applicant has no objection to providing records of odour complaints to Council if and when requested together with records of how these were responded to.

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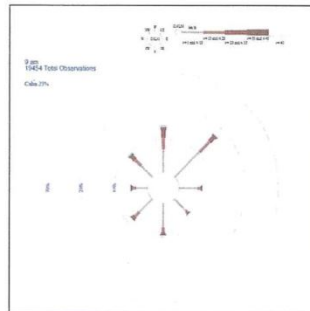


5.10.3 LOCAL DISPERSION CONDITIONS AND EXISTING CLIMATE

This section describes the dispersion meteorology and general climate in the study area. It provides information on prevailing wind patterns, historical data on temperature, humidity and rainfall, to give a more complete picture of the local climate.

5.10.3.1 Wind Data

The closest meteorological station to the proposed development is located at Macarthur Street, known as BOM weather station number 065026. The station was open from 1889, and closed in December 2012. This is situated approximately 800 metres northeast of the site. The annual wind rose for 9am and 3pm showing wind speed and direction for the period 1889 to December 2012 is shown in Figures 4 and 5.





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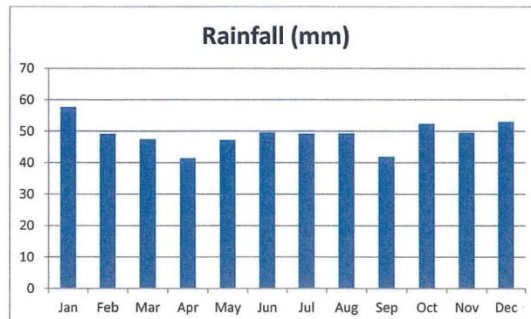


Figure 6: Average Monthly Rainfall (BOM Station 065026)

5.11 FLORA AND FAUNA

The subject site is a highly disturbed site. The site contains a mixture of native and exotic groundcover species. Works do not require disturbance to any areas of native vegetation or habitat value. Potential impacts on species, communities, populations or habitat protected under the *Threatened Species Conservation Act 1995* would not be significant.

5.12 WASTE

Waste generated by the development would be stored in a skip bin on site and collected by a commercial contractor. It would be disposed of at the Parkes Waste Landfill.

Staff and contractors would be made aware of any hazardous waste generated at the hot mix plant, and advised of the appropriate disposal of the waste. It is anticipated that any waste generated from the production process would be, where applicable, recycled back into the process.

There will be minimal volumes of general waste generated from the office and amenities on site.

5.13 STORMWATER

Surface water flows associated with the development would be directed, via an existing easement, to the existing stormwater drainage network on Ackroyd Street to the west. On-site stormwater drainage would be developed, with first flush and detention ponds provided in the north-west corner of the site.

The First Flush pond is sized by reference to the climatic information contained within **Section 5.10** and the content of the OEH Guidelines for Stormwater First Flush Pollution. This recommends that the first 15mm of rainwater in a storm event be captured for developments including hot mix bitumen emulsion plants (OEH, 2011). The first flush system would be designed in accordance with the provisions of that document. Overflows from the first flush system would be discharged to the Council's stormwater system as per the above.

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5.14 ENERGY

Energy usage associated with the development is primarily linked to the various forms of mechanical plant required to facilitate the production of the asphalt.

The primary energy source will be mains electricity to operate the asphalt plant and equipment, as well as mains electricity to power the site amenities including lighting, power to the site office and other amenities. A diesel fired burner will be used to heat aggregate and bitumen to manufacture the hot mix asphalt.

5.15 NOISE

The *NSW Industrial Noise Policy* provides recommended noise levels from industrial sources for residential receivers. The noise goals have been determined as:

- Daytime: $L_{Aeq, 15min}$ 50dBA
- Evening: $L_{Aeq, 15min}$ 45dBA
- Night: $L_{Aeq, 15min}$ 40dBA

The acoustic environment of the location and the associated receptors are dominated by industrial noise from the existing industrial development, and the Parkes-Stockinbingal railway line. The two residential houses within the vicinity of the proposal are within land zoned as IN1 – General Industrial, and SP2 – Infrastructure. The *NSW Industrial Noise Policy* states; for isolated residences within an industrial zone the industrial amenity criteria would usually apply. That is 70dBA. Notwithstanding, this assessment assumes they are residential.

In addition to the assessment based on averaged noise level over a 15 minute period ($L_{Aeq, 15min}$), sleep disturbance from short term maximum noise level (L_{Amax}) events at night (after 10 pm) have been considered.

The *Industrial Noise Policy* does not address sleep disturbance or maximum noise levels. The *Noise Guide for Local Government* does address sleep disturbance as:

*Where sleep disturbance is being assessed, the L_{A1} or L_{Amax} noise level is the more appropriate, and the measuring position might be outside the bedroom window. Sleep may be disturbed if the source noise level exceeds the background noise by more than 15dBA. More research is needed to better define the relationship between noise level and sleep disturbance. The *Environmental Criteria for Road Traffic Noise* has additional material about assessing sleep disturbance.*

The *Environmental Criteria for Road Traffic Noise* concludes:

Maximum internal noise levels below 50-55dBA are unlikely to cause awakening reactions.

One or two noise events per night, with maximum internal noise levels of 65-70dBA, are not likely to affect health and wellbeing significantly.

5.15.1 IMPACTS

5.15.1.1 Asphalt Plant

The proposed asphalt plant consists of a asphalt drum mix plant (Mobimix90), which includes a dryer drum mixer, bitumen tanks with heating arrangement, cold feeder bins, scalping screen with inclined conveyor, wet dust collector / scrubber, load out conveyor, hot storage bins and control house. The layout of the equipment is shown on **Drawing 03A_A03**.

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STATEMENT OF ENVIRONMENTAL EFFECTS
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Raw aggregate is loaded into aggregate cold feeder bins at a controlled rate and fed into a heated drier drum. Once heated it is coated with bitumen in the same drier drum, from a bitumen spray bar within the drier. Finished product is discharged either into a hot storage bin or directly into a truck via a conveyor.

The asphalt plant will operate intermittently throughout the day, with an expected average typical daily output of 70-90 tonnes, a peak output of 150 tonnes and an average of 29,000 tonnes per annum.

The plant rated capacity is 90 tonnes per hour, however, the proponent advises that the plant would normally operate at a lower rate. Normal daily usage would mean that the plant would run for between 0.5 and 3 hours per day with a peak of 5 hours per day.

The main noise source of the asphalt hot mix plant will be the asphalt plant, a front end loader for feeding the cold feed bins and road trucks for transport of product and raw materials, specifically the approximate noise emissions from each component include (GHD, 2009):

- Asphalt plant burner = 51dB
- Front end loader = 45dB
- Truck being loaded = 38dB
- Truck movement on exit = 31dB

Given the distance to the nearest residential receiver, and the noise emanating from the operation of the asphalt hot mix plant, the noise goals identified in the *NSW Industrial Noise Policy* would be not be exceeded. While operation of the asphalt plant burner exceeds the goals identified in the *NSW Industrial Noise Policy*, the reduction in sound as it travels towards the nearest residential receiver (320 metres to the northwest) would be considered acceptable.

5.15.1.2 Trucks On-Site

Traffic generation associated with the development is identified in **Section 5.3** as being around 23 vehicles per day, with a peak hourly volume of 3.51 vehicles. Over the course of a 12 hour day, this equates to less than 1 vehicle movement per hour. A typical truck entering the site, unloading or loading and departing the site makes approximately $L_{Aeq, 15min}$ 56dBA and L_{Amax} 75dBA at 10 metres.

Due to the site layout, trucks only move in a forwards direction and therefore reversing beepers would be minimised. The corresponding noise levels at the closest receptors to the northeast and northwest are predicted to be less than the noise goals identified in the *NSW Industrial Noise Policy* given the distance to the receptors.

5.15.1.3 Construction

Guidelines for the assessment of construction noise are given in the *Interim Construction Noise Guideline* (DECC, 2009). The recommended standard hours for normal construction work are: Monday to Friday 7.00am to 6.00pm; Saturday 8.00am to 1.00pm; and no work on Sundays or Public Holidays.

During these hours the recommended management level at residences is $L_{Aeq, 15min}$ background noise level + 10dBA. Construction will comprise minor earthworks, concreting, building erection and fit out. Construction noise will be intermittent and limited to the normal construction hours only.

5.15.1.4 Monitoring

Noise would be continuously monitored by recording complaints received. Upon receipt of a complaint, the noise source would be investigated and mitigation measures implemented where required. The applicant has no objection to providing data to Council if required on this matter should it be deemed necessary.

General Manager

Mayor



STATEMENT OF ENVIRONMENTAL EFFECTS
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5.16 NATURAL HAZARDS

There is negligible risk to people, property and biophysical environment from natural hazards as a result of the proposed development.

The site is not known to be flood or bushfire prone. On the basis that the site is not identified as being bush fire prone, neither Australian Standard 3959-2009 or the Rural Fire Service *Planning for Bushfire Protection 2006* (PBF) are considered to apply to the site.

The site is not linked with any known geologic or soil stability or flood risk.

5.17 TECHNOLOGICAL HAZARDS

The proposed development would require the storage of some dangerous goods on the site. These dangerous goods include:

- Diesel;
- Bitumen;
- Emulsion (emulsified bitumen and water);
- Weed killer;
- Truck wash;
- Paint;
- Paint thinners; and
- General domestic cleaning fluids.

These materials would be stored in accordance with the *National Standard: Storage and Handling of Workplace Dangerous Goods*.

It is understood that transportation volumes of each of the materials, would remain under the threshold that triggers a preliminary hazard assessment under *State Environmental Planning Policy No.33 – Hazardous and Offensive Development*.

As noted in **Section 4.3.1.2** WorkCover must be notified, and manifests and emergency plans must be developed for all dangerous goods that are used or stored on site that exceed the threshold for dangerous goods that require WorkCover notification. It is noted that several of the materials proposed for use and storage at the hotmix plant exceed these thresholds and therefore the WorkCover obligations apply, as detailed in **Section 4.3.1.2** and **Table 4.1**, **Table 4.2** and **Table 4.3**.

5.18 SAFETY, SECURITY AND CRIME PREVENTION

The guidelines prepared by the NSW Department of Urban Affairs and Planning (DUAP 2001) identify four (4) Crime Prevention Through Environmental Design (CPTED) principles to be considered in a Development Application to ensure developments do not create or exacerbate crime risk. These principles are discussed below in relation to the proposed development and include: surveillance, access control, territorial reinforcement, and space management. Those relevant to the proposed development are discussed below.

5.18.1 ACCESS CONTROL

The proposed development would make it clear where individuals are permitted to go, through effective boundary markers (ie fencing) and signage.

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5.18.2 SPACE MANAGEMENT

The proposed asphalt plant and its surrounds would be maintained continuously by the operators of the facility. The site would be maintained to ensure site cleanliness and rapid repair of vandalism or graffiti.

5.19 SOCIAL IMPACT

As defined by the NSW Government Office on Social Policy, social impacts are significant events experienced by people as changes in one or more of the following are experienced:

- Peoples' way of life (how they live, work or play and interact with one another on a day-to-day basis);
- Their culture (shared beliefs, customs and values); or
- Their community (its cohesion, stability, character, services and facilities).

The development would not have any adverse impact on any of the above social characteristics within the local community. The existing way of life, culture and community cohesion would not be compromised.

5.20 ECONOMIC IMPACT

Economic impacts associated with the development would be generally positive by virtue of the operation of a local business that positively contributes to the local environment.

5.21 SITE DESIGN AND INTERNAL DESIGN

The site is ideally located with respect to site conditions by virtue of the pre-existing and surrounding industrial land use, surface water controls, distance to sensitive environmental features and distance to potentially sensitive receptors.

The internal design of the proposed development effectively uses the available space of the lot, with a layout that is logically set out for the delivery of raw product, processing plant area, and finished product loading area. The one way road system throughout the site effectively manages vehicle and plant movements about the site, improving the safety for staff and contractors.

5.22 CONSTRUCTION IMPACTS

While the construction impacts at the site are relatively minor given that all proposed buildings would be prefabricated and set on piers and the proposed carport structure would connect the two shipping containers, the construction activities still have the potential to generate adverse impacts through construction traffic noise, surface water and land degradation, and dust. In this regard, the following mitigation measures are required to ameliorate any adverse impacts:

- Preparation of an Erosion and Sediment Control Plan prior to construction and implementation of the Plan throughout all phases of construction activity;
- The adoption of appropriate soil erosion control measures. This would include techniques such as minimising the area of disturbance at any given time, diverting clean runoff away from disturbed areas, treatment of dirty runoff using sediment traps and filters installed to engineering design standards and rehabilitating disturbed areas as soon as practicable following construction;
- Preparation and implementation of a traffic management plan during construction works;
- All plant and equipment would be operated and maintained in accordance with the manufacturer's specifications;

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- Works would be undertaken in accordance with the standard daytime hours recommended by the Environment Protection Authority: that is, 0700-1800 Monday to Friday and 0800-1300 on Saturday, with no works on Sunday or Public Holidays. Any variation to these hours would first be negotiated in consultation with adjoining landowners; and
- Undertake strategic watering as required and stabilise exposed surfaces with a vegetative cover as soon as is practicable.

5.23 CUMULATIVE IMPACTS

The proposed development is unlikely to generate any impacts with the potential to act in unison in terms of:

- Individual impacts so close in time that the effects of one are not dissipated before the next (time crowded effects);
- Individual impacts so close in space that the effects overlap (space crowded effects);
- Repetitive, often minor impacts eroding environmental conditions (nibbling effects); and
- Different types of disturbances interacting to produce an effect which is greater or different than the sum of the separate effects (synergistic effects).

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General Manager

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STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

Conclusion

6.1 SUITABILITY OF THE SITE

The proposed development involves utilising land zoned for industrial purposes to develop an asphalt plant, which is consistent with the existing level of use in the surrounding area. As outlined throughout this report, the proposed development would not be constrained by any existing surrounding land uses.

The locality, being within an industrial estate precinct, is considered to be suitable to support the use on the site.

As outlined throughout **Section 5** of this report, there are no constraints on the subject site that would make it unsuitable for the proposed development.

6.2 CONCLUSION

The proposed development involves the development of an asphalt hot mix plant at 27-31 Matthews Street within the Parkes Industrial Estate.

The proposed development is permissible with consent in the IN1 – General Industrial Zone under the Parkes LEP. It is not antipathetic to the zone objectives and is consistent with the development standards of the LEP. The development is consistent with the provisions of the Parkes Industrial Estate Development Control Plan 1998 (DCP) and would have negligible adverse environmental, social or economic impacts on the locality. In this regard, the subject site is considered to be suitable for the proposed development.

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STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

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Appendix A
AHIMS DATABASE SEARCH RESULT



General Manager



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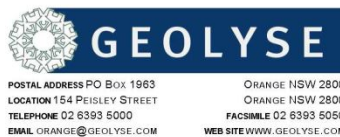
2. Additional Information Statement of Environmental Effects submitted 11 February 2014

ADDITIONAL INFORMATION
PROPOSED ASPHALT HOT MIX PLANT

DA14006

PREPARED FOR:
CIVIL INDEPENDENCE NSW

FEBRUARY 2014



General Manager

Mayor



ADDITIONAL INFORMATION
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

Report Title:	<i>Additional Information</i>
Project:	<i>Proposed Asphalt Hot Mix Plant</i>
Client:	<i>Civil Independence NSW</i>
Report Ref.:	<i>213265_SEE_002B.docx</i>
Status:	<i>Final</i>
Issued:	<i>11 February 2014</i>

Geolyse Pty Ltd and the authors responsible for the preparation and compilation of this report declare that we do not have, nor expect to have a beneficial interest in the study area of this project and will not benefit from any of the recommendations outlined in this report.

The preparation of this report has been in accordance with the project brief provided by the client and has relied upon the information, data and results provided or collected from the sources and under the conditions outlined in the report.

All maps, plans, and cadastral information contained within this report are prepared for the exclusive use of Civil Independence NSW to accompany this report for the land described herein and are not to be used for any other purpose or by any other person or entity. No reliance should be placed on the information contained in this report for any purposes apart from those stated therein.

Geolyse Pty Ltd accepts no responsibility for any loss, damage suffered or inconveniences arising from, any person or entity using the plans or information in this study for purposes other than those stated above.

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General Manager

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ADDITIONAL INFORMATION
PROPOSED ASPHALT HOT MIX PLANT
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Drawing 02_A03 – Proposed Site Layout

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Emergency Response Plan

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ADDITIONAL INFORMATION
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1.0 INTRODUCTION

The information below provides additional information and a response to Council's request in relation to DA 14006.

Specifically, the structure of this report reflects the issues as raised in Parkes Shire Council's letter dated 24 January 2014.

1.1 STATE ENVIRONMENTAL PLANNING POLICY NO 33 – HAZARDOUS AND OFFENSIVE DEVELOPMENT

PSC Item 1:

Table 1.1 supplies information on the hazardous materials and storage details in the context of the development and the State Environmental Planning Policy No.33 - Hazardous and Offensive Development (SEPP33).

Table 1.1.1 – Hazardous Materials and Storage Details

Material	Storage Methods
Bitumen	Heated bitumen kettles with a maximum temperature of 160°C
Fly Ash/Lime	Vertical silo
Burner Fuel	Diesel, stored in horizontal steel tank
Emulsion	Horizontal steel tank
Sand and Aggregates	Three sided concrete lined holding bay; two sides and back
Degreaser, household cleaning products, truck slip agent	Locked storage container (refurbished shipping container)

The proposed storage locations for the hazardous material are detailed on Drawing 03B_A03, Rev 2.

Table 4.1 from the SEE submitted to Parkes Shire Council is replicated below (Table 1.1.2) with volumes of dangerous goods proposed to be stored on site at any time, in both litres and tonnes.

Table 1.1.2 – Dangerous goods that may be stored on site at any one time

Material	Tonnes (approx.)	Litres	Dangerous Goods Classification	Packing Group
Diesel	17	20,000	3	III
Bitumen	90 (at 25°C – slightly less with increasing temperature)	90,000	3	II
Emulsion (emulsified bitumen and water)	20	20,000	3	II
Weed Killer	0.02	20	-	-
Truck Wash	0.02	20	-	-
Paint (enamel touch up)	0.01	10	3	I (or II)
Paint Thinners	0.02	20	3	I (or II)
General domestic cleaning fluids	Not identified	Not identified	-	-

Source: Applicant and Australian Dangerous Goods Code

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ADDITIONAL INFORMATION
PROPOSED ASPHALT HOT MIX PLANT
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Table 5.2 from the SEE submitted is replicated below in **Table 1.1.3**, displaying both the average number of *annual* and *weekly* road movements to and from the facility, and the typical quantity in each load.

Table 1.1.3 – Average Weekly and Annual Volumes of Materials and Associated Truck Movements

Material	Volume per Year (tonnes)	Volume per Week (tonnes)	Heavy Vehicles in (per year)	Heavy Vehicles in (per week)	Heavy Vehicles Out (per year)	Heavy Vehicles Out (per week)
Bitumen	1,450	28	58	1.1		
Filler	725	14	29	0.5 - (one every 2 weeks)		
Diesel (Flux)	290	6	12	0.2 - (one every month)		
Aggregates	26,535	510	1,061	20		
TOTALS	29,000	558	1,160	22	1,160	22.3
Diesel (Heating)	225	4	10	0.2 - (< one per month)		
Emulsion	75	1.4	3	<one per month		
TOTAL VEHICLE MOVEMENTS			1,173	22.5	1,160	22.3

Note: the volumes and truck movements are based on an output of 29,000 tonnes per year based on a typical load size of 25 tonnes.

1.2 PARKES INDUSTRIAL ESTATE DEVELOPMENT CONTROL PLAN 1998 (DCP)

PSC Item 2:

A detailed landscaping plan is provided as **Drawing 03B_A06** of the attached drawing set.

PSC Item 3:

Figure 1 displays a typical 100 tonne per hour Drum Mix plant similar to the one proposed by Civil Independence NSW.

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PROPOSED ASPHALT HOT MIX PLANT
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Figure 1: Asphalt hot mix plant similar to the proposed development.

1.3 AIR AND MICROCLIMATE

PSC Item 4:

Minor dust is created when:

- Loading cold bins with front end loader (dust is controlled by building a wind breaker wall around the top of the cold feeder bins); and
- Transferring aggregates from one conveyor to another (transfer points). Dust is controlled by fitting fine mist sprays, and covers over the exposed conveyors.

Any dust created during asphalt production is captured in the Pollution Control System (wet scrubber) and held in the water settling ponds for recycling. Dust emissions from the stack, silo, or drum mixer are very low when producing asphalt and would not be anticipated to exceed the maximum allowable concentration levels for solid particles as provided for Group C development in Schedule 6 of the Protection of the Environment Operations (Clean Air) Regulation 2010. Monitoring would be undertaken to confirm that this level is not exceeded via the method described below.

PSC Item 5:

Dust monitoring would continuously be undertaken using a 'stack obscuration meter' during operating hours. If stack emissions exceed the acceptable limit, an alarm mounted in the control room will sound. The operator(s) on site is required to immediately determine the cause of the excessive dust,

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and if required, shut down production until such time the issue is rectified, and dust emissions are within acceptable limits.

Dust performance readings would be recorded and stored on site within the site office, and made available upon request.

During operating hours, the plant operators would be required to periodically carry out visual checks to ensure dust sprays are functioning efficiently and correctly. If spray nozzles are found to be ineffectively suppressing dust from the conveyors, the operator would be required to immediately rectify the problem, temporarily ceasing production to do so if required.

PSC Item 6:

Odour emanating from the production of asphalt is known to only occur when asphalt or bitumen is heated to temperatures in excess of 160°C. The temperature of the bitumen within the kettles is controlled by the heating system, which is fitted with an automatic cut-out switch that is triggered when temperatures exceed 160°C. The operator also has the capacity to shut down the heating system manually from the control room if required.

During periods of active asphalt production the automatic cut-out system is also fitted to the drum mix process. If temperatures are found to exceed 160°C, the main burner will ramp down to idle (low fire). The maximum temperature when the burner is operating at low fire is 60°C.

Both the bitumen heating process and asphalt burners are controlled using an automatic electronic system. While the system can be manually overridden if required, the heating and cooling processes would typically function automatically using the electronic system.

PSC Item 7:

As mentioned in addressing Item 6, odour generation is known to occur only when the temperature of the asphalt or bitumen is heated in excess of 160°C. The potential impacts from odour generation will therefore be focussed on continuously monitoring temperature gauges during production of the asphalt to ensure that the products are not being over-heated, and therefore potentially generating odour.

Should an odour complaint be received from nearby residential receivers, the complaint is to be investigated immediately, and mitigation measures revised if required.

On the basis of the above, it is contended that odour generation is unlikely and therefore the provision of an odour contour plan is not justified.

PSC Item 8:

Initial discussions with the owner of the adjacent property over which an easement to drain water exists have not revealed any in-principle objections to the installation of stormwater management infrastructure.

1.4 DETAILS OF OPERATIONS

PSC Item 9:

During periods of active asphalt production, a minimum of five plant personnel are required on site for operations.

PSC Item 10:

Materials would be contained in the holding bays identified in **Drawing 03B_A03** using a concrete retaining wall that effectively divides the holding bays. The back and sides of the bays are designed 500 millimetres higher than the predicted maximum height of stockpiles. The bays would be open at the front to allow access by the front end loader. Bays are designed to be sufficiently deep so that they

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General Manager

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Mayor



ADDITIONAL INFORMATION
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

have sufficient capacity to hold necessary material without shifting into the vehicle movement areas. The front end loader would also be used to manage the bays on a day to day basis to ensure that materials are contained.

PSC Item 11:

The operations carried out on site are detailed in the flow diagram depicted in **Figure 2**.

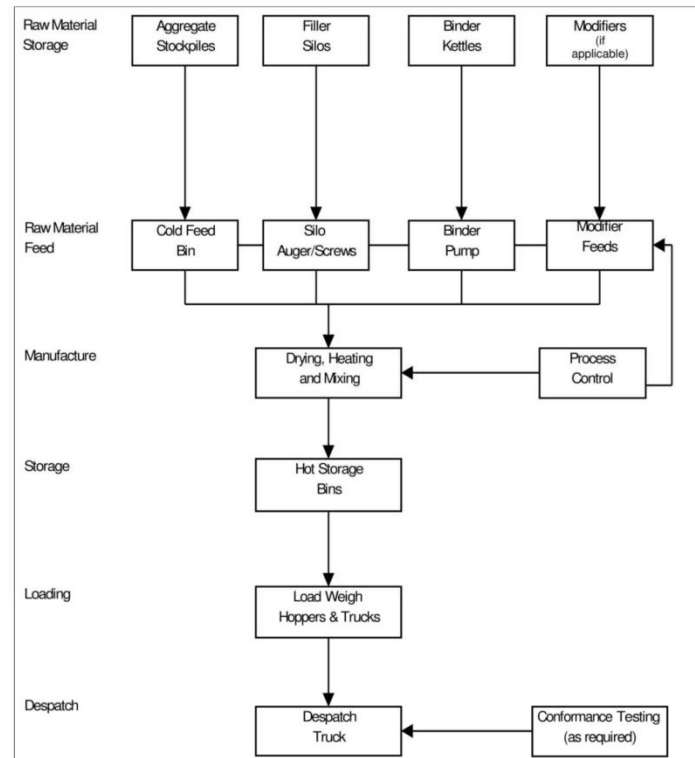


Figure 2: Simple asphalt plant process flow chart

Raw materials are both delivered to the site and despatched from the site using rigid trucks and semi trailers. A front end loader is used on site to load and unload the heavy vehicles (carrying aggregates) during the manufacture of the asphalt and to load materials into the plant.

A detailed process flow chart showing each component of the operations for the Mobimix-90 asphalt plant is displayed in **Figure 3**.

General Manager

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ADDITIONAL INFORMATION
PROPOSED ASPHALT HOT MIX PLANT
CIVIL INDEPENDENCE NSW

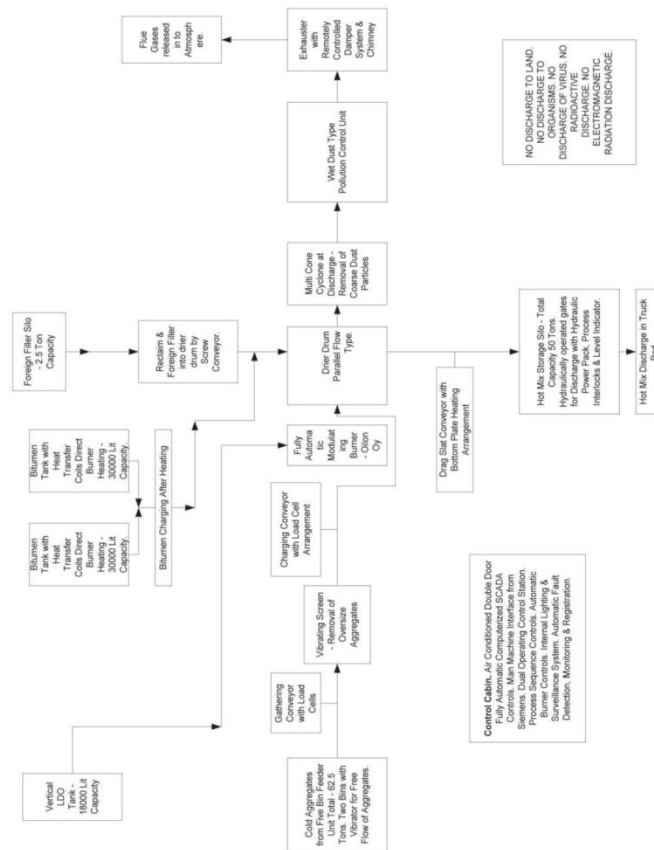


Figure 3: Detailed flow chart with each component of asphalt manufacture using the Mobimix-90

General Manager

Mayor



ADDITIONAL INFORMATION
PROPOSED ASPHALT HOT MIX PLANT
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PSC Item 12:

The proponent has indicated that a permanent truck wash bay is not required on site. A concrete area in front of the settling ponds would however be dedicated for washing down the front end loader as required. All water used in the front end loader wash down area would be recycled water that would drain back into the settling ponds (refer **Drawing 03B_A03**). As loader would only be used to transport aggregates there would be no hazardous residues entering this wash down area.

The site in this area would be shaped so that run-off is directed to the settling ponds.

PSC Item 13:

Lighting suitable for operations during the evening and night would be installed in the following locations:

- One on each of the four corners of the site;
- One on each end of the cold feed bins, facing towards the centre of the plant and towards the ground;
- One at the north east corner of the bunded area (bitumen tanks etc) facing towards the centre of the plant towards the ground;
- One on top of the hot storage bin facing the centre of the plant towards the ground; and
- Normal lights around the plant just above head height for carrying out plant performance checks etc.

All lighting would be directed downwards towards the plant and not towards the roads of neighbouring properties. Lighting is depicted on **Drawing 03B_A03**.

PSC Item 14:

There are no provisions for a bunding or collection system within the pre-spraying/washing area. Instead all vehicles carrying asphalt will be pre-treated with an asphalt release agent. The agent to be used is an Australian made non-solvent based Bio-Green product known as "Fort Knox Asphalt Release Agent", a product manufactured from natural products by "Spick N Clean Products Pty Ltd".

The *Fort Knox Asphalt Release Agent* is designed to be sprayed onto trucks and machinery as a thin film on the surface of metal which allows asphalt to slide easily from truck beds; no run-off or drainage requirements result from the process.

As noted in **Item 12** a truck was facility is not required on site, with no planned truck washing to take place as part of operations.

PSC Item 15:

The details of any proposed protection or safety systems or management practices to minimise environmental impacts from the materials storage, transfer, heating, batching and dispatch facilities, including provisions to deal with fumes, dust, spills etc would be developed following the approval of the Development Application. The applicant has no objection to this matter being managed via a condition of consent attached to the Development Application, and would be provided to Council prior to the release of a construction certificate.

PSC Item 16:

Mechanisms to minimise the impacts of emissions in the event of a system failure or emergency, including procedure to allow surrounding property owners to notify owner are detailed in the proponents *Emergency Response Plan*. The Plan would be completed following approval of the Development Application; an indicative template of Plan is however included in **Appendix A**.

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PSC Item 17:

Hazardous liquid materials, including bitumen, diesel, emulsion, and general domestic cleaning fluids for example would be stored in a bunded and sealed area with a concrete floor and walls. The capacity of the bunded area would be designed in accordance with the relevant Australian Standard and would provide a minimum of 110% capacity by reference to the predicated volumes of materials.

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General Manager

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Drawings



General Manager



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PROPOSED ASPHALT HOT MIX PLANT 27 - 31 MATTHEWS ROAD, PARKES, 2870 LOT 2 IN DP 1073363 CIVIL INDEPENDENCE

DRAWING SCHEDULE

SHEET	TITLE	REVISION	DATE
03B_A01	PROPOSED ASPHALT HOT MIX PLANT	1	15/04/2014
03B_A02	EXISTING SITE AND SERVICES LAYOUT	1	15/04/2014



LOCALITY MAP
NOT TO SCALE



GENERAL NOTES:
1. THE DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
2. THE ARCHITECT HAS CONDUCTED A VISUAL SURVEY OF THE SITE AND HAS FOUND NO OBSTACLES TO THE PROPOSED DEVELOPMENT.
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CIVIL INDEPENDENCE

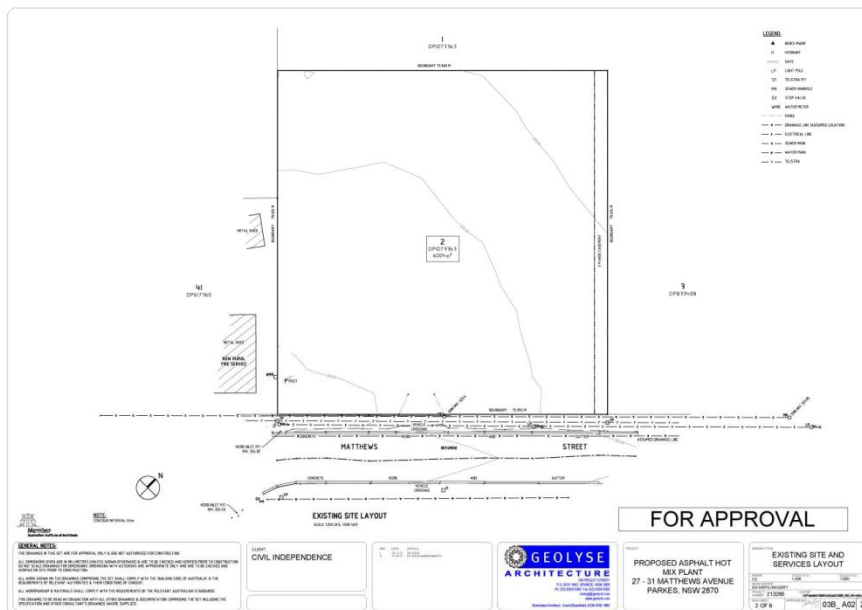
15/04/2014



FOR APPROVAL

PROPOSED ASPHALT HOT
MIX PLANT
27 - 31 MATTHEWS AVENUE
PARKES, NSW 2870

TITLE: LOCALITY MAP & DRAWING SCHEDULE
DRAWING NO: 03B_A01
1 OF 2



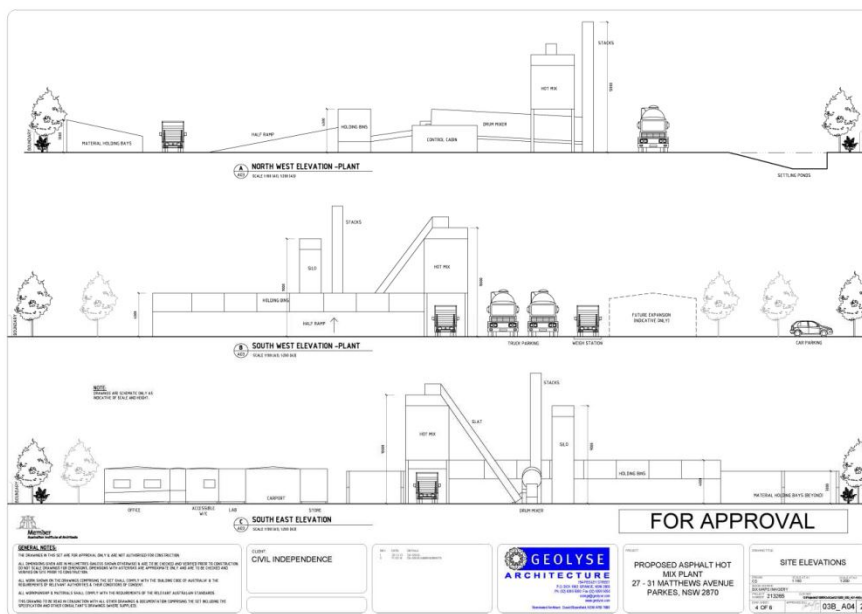
FOR APPROVAL

PROPOSED ASPHALT HOT
MIX PLANT
27 - 31 MATTHEWS AVENUE
PARKES, NSW 2870

EXISTING SITE AND
SERVICES LAYOUT
DRAWING NO: 03B_A02
2 OF 2

General Manager

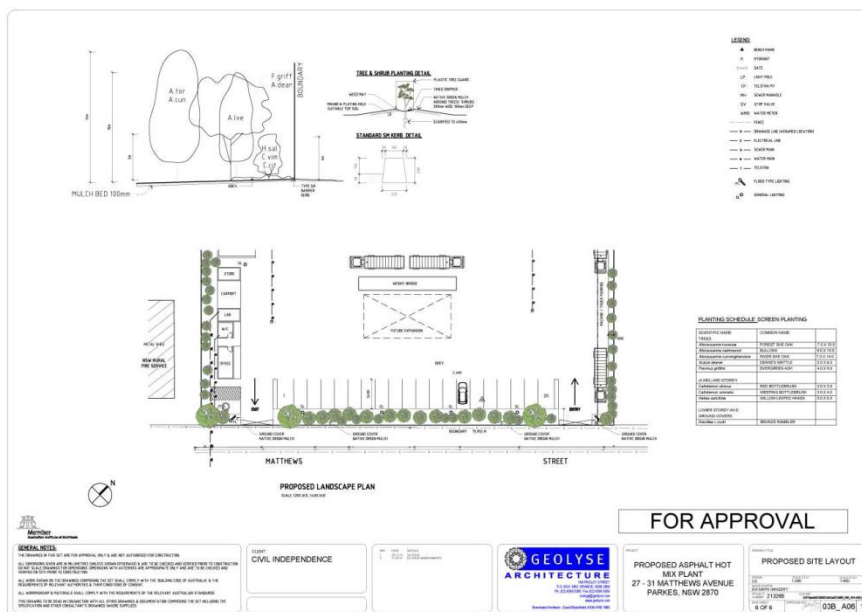
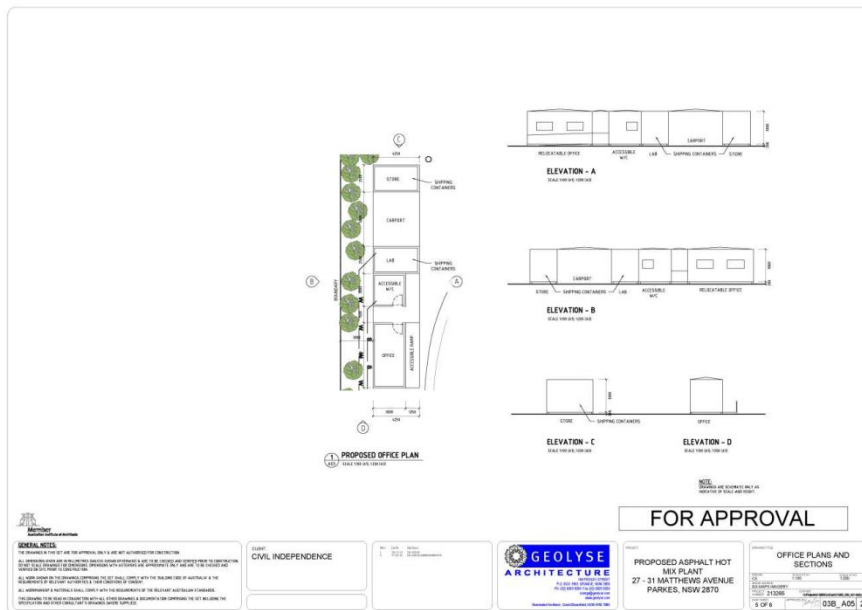
Mayor



Long

Ken Keith

Mayor



[Signature]
General Manager

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Mayor

Appendix A

EMERGENCY RESPONSE PLAN



General Manager



Mayor

	Emergency Response - Depot		OHS-FRM-06B	
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EXAMPLE DRAFT ONLY
Emergency Response Plan -
Depot

(for 27-31 Matthews Street, Parkes)



Date of Review:



General Manager



Mayor

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General Manager



Mayor

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1. Emergency Contacts

Emergency Numbers

FIRE 000
POLICE 000
AMBULANCE 000

Civil Independence State Head Office

Telephone: _____
Facsimile: _____

After Hours Contacts

Name:	Telephone:
MARK AUGUST	0458 657 575
_____	_____

Technical Advice

_____	_____
_____	_____

Adjacent Properties

_____	_____
_____	_____

Local Doctor

Name / Address:	Telephone:
_____	_____
_____	_____

Local Hospital

Name / Address:	Telephone:
_____	_____
_____	_____

Burns Information

Name / Address:	Telephone:
_____	_____
_____	_____

E.P.A. Contact

_____	_____
-------	-------

Chief Warden

_____	_____
-------	-------

Area Warden/s

Area / Name:	Telephone:
_____	_____
_____	_____
_____	_____



General Manager



Mayor

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2. Evacuation

If an evacuation is required the Chief Warden shall assume all responsibilities for the evacuation procedures.

The evacuation shall be co-ordinated in the following way:

1. Upon notification, the Chief Warden or Area Warden shall assess the likely severity of the emergency.
2. The Chief Warden or Area Warden shall order an evacuation of the depot or work area via either the Telephone Public Address System or by using the emergency mobile horn alarm. The telephone address process would occur in the following way:

Lift telephone handset, wait for confirmation tone and then make the following announcement

"Emergency. This is not a test. Emergency. This is not a test. There is a fire emergency located at _____. All staff and visitors are to evacuate the depot immediately and assemble at _____. Evacuation should be via _____."

To notify personnel out of range of the telephone announcement, the emergency horn / bell will be sounded 5 times. Repeat twice.

3. The Chief Warden shall notify the Fire Brigade, Police and Ambulance "000" of the emergency.
4. The Chief Warden shall notify the surrounding businesses of the possible risk.
5. The Chief Warden shall call the Managing Director and advise of the emergency.
6. At the assembly point the Chief Warden in conjunction with Area Warden/s shall account for all employees and visitors. This manual and visitors book should be taken to the assembly point.
7. The Chief Warden only shall liaise with the Police, Fire Brigade and Ambulance.
8. The Chief Warden only shall authorise for the all clear to be given to resume work.
9. If the media arrive on site, refer to page 18.
10. All events will be logged in time order on a NCR Report.
11. The Chief Warden, along with QSE Manager, shall organise for evacuation drills at least annually.

2.1 Responsibilities

Chief Warden:

- Takes control of the emergency situation
- Coordinates the response that is required
- Communicates with Area Wardens (if applicable)
- Ensure emergency services are contacted if required
- Ensures all personnel are accounted for.

Area Warden(s):

- Communicates with personnel within their area
- Checks that their area is clear of personnel.



General Manager



Mayor

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3. Electrical Isolation

The location of the electrical isolation point for 27-31 MATTHEWS STREET, PARKES is as detailed below.

The electrical isolation points are located:

Instructions for switching *off* are:

Instructions for switching *on* are:



General Manager



Mayor

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4. Fire Emergency In The Event Of a Fire

IF

- The fire is not severe
- There is no imminent danger from smoke/fumes
- There is no imminent danger of explosion

THEN

- Attempt to extinguish the fire with the appropriate fire extinguisher.
- At the same time, if possible, call for someone to raise the alarm.
- If you are on your own and you cannot extinguish or contain the fire with one extinguisher, then raise the alarm.
- **Do not** attempt to extinguish a fire with water (where the use of water is allowed) until the electrical power supply in the area is isolated
- If you consider there is an explosion risk, evacuate the area.

4.1 Grass Fire

1. Assess situation.
2. Evacuate personnel and equipment to a safe area.
3. Attempt to extinguish fire with available fire fighting equipment (only if safe to do so).
4. If necessary set up traffic control (only if safe to do so).
5. Emergency services to be notified:

Fire Brigade	000
Police	000
Ambulance	000

6. Civil Independence personnel to liaise with Emergency Services on their arrival.

4.2 Bitumen Tank Fire

1. Assess situation.
2. Turn off gas supply (only if safe to do so).
3. Evacuate personnel and equipment to a safe area.
4. Attempt to extinguish fire with available fire fighting equipment (only if safe to do so).
5. Keep gas cylinders cool (only if safe to do so).
6. If necessary set up traffic control (only if safe to do so).
7. Emergency services to be notified:

Fire Brigade	000
Police	000
Ambulance	000

8. Civil Independence personnel to liaise with Emergency Services on their arrival.

NOTE: Please inform emergency services of the hazards associated with bitumen.



General Manager



Mayor

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5. LPG Emergencies

An LPG emergency may involve one or a combination of the following scenarios:

- An unignited LPG leak;
- LPG leak on fire;
- LPG containers exposed to fire.

5.1 How To Control An Unignited LPG Leak

1. Remove ignition hazards where possible within the likely vapour cloud area without entering the vapour cloud (note wind direction).
2. Stop engines and do not allow vehicles to be driven away.
3. Do not use telephone or two-way radios in the danger area.
4. Close any valves that will stop the flow of gas.
5. A garden hose can be used effectively to disperse small LPG leaks.

NOTE:

If a serious LPG leak occurs, call for the assistance of the Emergency Services and establish a danger area of about 70 metres radius. All personnel should be evacuated from this area and entry restricted to the Emergency Services.

5.2 How To Control An LPG Leak On Fire

1. If the gas can be shut off at the valve this will control the LPG fire but the surrounding combustibles may have to be extinguished and the cylinders cooled down with water.
2. If the gas cannot be shut off at the valve:
 - a. Evacuate all unnecessary personnel and equipment to a safe area upwind.
 - b. The controlled burning of escaping LPG is an accepted fire fighting practice.
 - c. Apply sufficient water to keep the shell of the vessel and the adjacent pipe work cool.
 - d. Notify Emergency Services.
 - e. If the only valve that can be used to stop the flow of fuel is involved in the fire, the Emergency Services may consider the possibility of effecting shut off whilst being protected with water fog streams.

5.3 How To Control Exposure To Fire

1. When intact LPG storage vessels or equipment are subjected to serious fire exposure, such as from a nearby burning building or a fire involving another fuel, it is of prime importance to:
 - a. **If equipment can be moved safely** - Move to a safe area upwind from the fire
 - b. **If equipment cannot be moved** - Apply sufficient water to keep the shell of the vessel and the adjacent pipe work cool.



General Manager



Mayor

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6. Medical Emergencies

Injuries Requiring Medical Treatment

These procedures are to be followed when an injury occurs at a worksite, which involves administering first aid and notifying appropriate back-up help. The procedures cover handling:

- Injury during normal hours
- Injury outside normal hours

6.1 Injury During Normal Hours

1. Depending on the seriousness of the injury, arrangements should be made for the employee to be treated as follows:

Injuries such as sprains, strains, minor lacerations (guide only) Name:

Phone:

Injuries such as bitumen burns, bone fractures or other injuries requiring treatment in the casualty ward (guide only) Name:

Phone:

Major injuries and injuries which prevent employees from being easily moved without causing further damage (guide only) **000**

2. The Supervisor and Responsible Manager should be informed immediately.
3. In the event of a serious injury (any incident requiring medical treatment) the responsible Manager shall immediately inform either
- Next of kin, or
 - If the person is a contractor (including labour hire) the employer of the relevant details.
4. In the event of an injured person requiring transportation to a medical facility, the Supervisor shall arrange for a company representative to accompany the employee continuously until such time as
- a. medical staff has taken complete control of the situation
 - b. family representative has arrived and been fully briefed
 - c. the situation has stabilised
 - d. the Managing Director has been fully informed
5. Inform Management, employer (if contractor) and Safety Authority (if required).



General Manager



Mayor

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6.2 Injury Outside Normal Hours

1. The Supervisor to call ambulance, if appropriate, or arrange for transport to the nearest hospital.
2. A responsible person is to accompany injured person.
3. Management contact to be informed as soon as possible.

Management Contacts:

6.3 Qualified First Aiders

Qualified First Aider	Expiry Date

Qualified first aiders should administer first aid to injured personnel. To prevent the injury from worsening - if you need to move the patient, for their safety, or you cannot render life-saving aid where they are, move the patient.

6.4 Contact With Poisons

1. During normal hours contact the QSE Manager so that reference can be made to the relevant Material Safety Data Sheet.
2. Where the QSE Manager is unavailable, phone:
Poisons Information Centre
3. Consult the manual contained in each first aid box.



General Manager



Mayor

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7. Burns

Burns may be:

SUPERFICIAL - skin is red and painful, may be blistered

DEEP - white or charred skin, not painful because of nerve destruction, usually surrounded by superficial burns

7.1 Management Of A Burns Patient

1. Danger, Response, Airways, Breathing and Circulation
2. Stop the burning - smother the flames
3. Maintain breathing and ensure clear airway
4. Cool the burn to normal body temperature with water
5. Examine the body for other injuries
6. Remove anything, which may trap the heat in, eg clothing (do not tear burnt clothing away which has adhered to skin - cut around it)
7. Cover the burn with something clean (Sheet or towel)
8. Transport patient to hospital as soon as possible

7.2 Bitumen Burns

Supervisors shall ensure that the **Orange Bitumen Burns Card** accompanies employees with bitumen burns when they are transported for treatment. If possible, someone with understanding of bitumen burns should accompany the employee.

The following procedure is taken from the orange AIP bitumen burns card,

- If hot bitumen contacts the skin, the burned area should be cooled immediately by drenching in cold, preferable running, water.
- The cooling treatment should be carried out until the bitumen has hardened and cooled. Body hypothermia must be avoided.
- Adherent bitumen should not be removed "in the field"



General Manager



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8. Product Spills

8.1 In the event of a product spill onsite

1. Stop flow at source (if possible)
2. Isolate any potential sources of ignition
3. In case of fire, have the appropriate extinguishers immediately available
4. Clear all non-essential personnel/bystanders to a safe distance
5. If possible, contain spill (stop entry into storm water drains)
6. Inform your supervisor immediately. They will inform Managing Director who will determine the requirement to contact further authorities
7. Commence clean up actions

8.2 Spill Kit

Every depot must have a spill kit that contains at least the following:

- 4 x 3m long hydrocarbon absorbent socks (or equivalent). The socks should have the ability to be tied together to make a long sock if required. The socks are primarily for preventing runoff into stormwater drains and gullies.
- 2m³ of hydrocarbon absorbent blanket or other material (e.g sand).
- 3 x Heavy-duty plastic bags to carry contaminated spill material.



General Manager



Mayor

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9. Bomb threat

In the event of a bomb threat by telephone, the receiver **SHALL NOT HANG UP**. Assume all threats are genuine. Try and keep the caller talking.

1. Write the exact words of the threat. Write notes regarding the threat that includes representative information:
 - When is the bomb going to explode?
 - Where is the bomb?
 - When did you put it there?
 - What does the bomb look like?
 - What kind of bomb is it?
 - What will make the bomb explode?
 - Did you place the bomb?
 - Why did you place the bomb?
 - What is your name?
 - Where are you?
 - What is your address?
 - Was there anything notable about the caller's voice, for example accents, impediments, loud/soft voice, fast/slow speech, clear/muffles diction, calm/emotional manner. Could you recognise the voice?
 - What type of language did the caller use? Was it well spoken, incoherent, irrational, taped, a message read by the caller, abusive?
 - Were there any background noises? What were these noises of? Was the call local or long distance?
 - Could you make out the sex of the caller?
 - Estimation of the age of the caller.
 - Date/time.
 - Duration of call.
 - Number called.
2. Report the call immediately to your Responsible Manager.
3. The Responsible Manager will report to authorities and Managing Director.
4. If evacuation is required, refer to evacuation procedure.

In the event of a bomb threat by mail, contact Responsible Manager who will inform Managing Director and authorities.

Minimise any physical handling of the document and wrappings. Retain all items for possible evidence.



General Manager



Mayor

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10. Media

Where the occurrence requires that the business respond to a media inquiry the following guide is provided,

1. One person should be nominated to respond to all media inquiries regarding a specific issue. This person should be either Senior Management or persons who attended emergency management communication courses. Where this is not possible, common message should be agreed and the number of people responding should be kept to an absolute minimum.
2. Select a holding area for journalists before taking them to the scene. If they are kept waiting, have someone explain that a senior staff member is on the way.
3. Spokespeople responding to the media must at all times be truthful and accurate, but don't speculate. If you don't know the answer to a question, say so. Try to find out and call the journalist back.
4. Always offer to call back with updated information, particularly where an issue is developing over a number of hours. This helpful attitude will ensure that there is a better chance that Civil Independence' point of view will be heard.
5. It is important to remember that journalists are working to tight deadlines, so be prompt in answering calls and providing information.
6. During an interview, maintain a polite but firm determination to get your three or four points across.
7. Try to remain polite and helpful, even if you consider the approach of the journalist to be aggressive or provocative.
8. Remember - journalists have a job to do - gathering information. They want to know who, what, why, when, where and how. Try to assemble the information you have in the context of these questions, before you meet the journalist.
9. Endeavour to make a note of the salient points immediately following any conversation with the media. This can then be used to pass on to someone else who may be continuing the dialogue, or be a source of reference following the incident.

10.1 Dealing with Media (in summary)

During any response to the media, only factual information should be given; do not apportion blame.

What the Public Wants to Know

- What happened?
- How dangerous is the situation?
- What is involved in returning the situation to normal?
- How long will it take?
- Will there be any danger during the cleanup?

Therefore Do

- Co operate with the media
- Show concern



General Manager



Mayor

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- Stay calm
- Take sufficient time to make some initial assessment of the incident before answering questions, but keep your word to speak as soon as the initial assessment is made
- Be concise and factual
- Avoid using technical jargon

Do Not

- Speculate
- Speak off-the-record
- Joke about the situation or patronise local concerns
- Elaborate on the facts unnecessarily
- Be hostile, defensive or evasive
- Knowingly mislead
- Use negative language
- Admit any liability
- Give names/addresses of casualties. It is acceptable to give numbers if known.

Endeavour to make a note of the salient points immediately following any conversation with the media.

11. Review

The Responsible Manager, along with the QSE Manager yearly, shall review this Plan.

The next review is due: _____

This review shall take into consideration:

- The effectiveness of the procedures during the previous twelve months;
- Changed circumstances affecting this Plan; and
- Updated information on emergency contacts.

An updated Plan shall be prepared based on this review.



General Manager



Mayor

3. Geolyse Submission Regarding Proposed Output Reduction



Our Ref: 213265_LET_002A.docx

24 February 2014

The General Manager
Parkes Shire Council
PO Box 337
PARKES NSW 2870

Attention: Annalise Cummings

Dear Annalise

ADDITIONAL INFORMATION IN RESPECT OF DA14006 – PROPOSED ASPHALT HOT MIX PLANT, MATTHEWS STREET, PARKES

We write further to our site meeting of today with your Annalise Cummings and Michelle Gibson of the Environment Protection Authority.

As a result of that meeting we provide the following additional information to amend the output volume of the proposed hot mix plant. As noted during our site visit, and as outlined in the initial SEE, the client has advised that they intend to test the market with a low level of output before determining whether to seek to extend the output volume of the facility. Should there be sufficient demand within the market the applicant would return to the Council, and if needed the EPA, in the future to seek consent for expansion of operations. This demand is by no means guaranteed and as such the client has confirmed that the projected output level as per this amended information would be financially viable.

Table 3.1 within the original Statement of Environmental Effects (SEE) provided a breakdown of 'ingredient' volumes that form the asphalt mix, broken down on an annual basis. Table 3.1A below is intended replace Table 3.1 within the SEE and provides amended volumes in line with the proposed reduction in annual output from 29,000 tonnes to 19,500 tonnes.

Table Error! No text of specified style in document..1A – Ingredient ratio

Material	Percentage (%)	Volume per year (tonnes) (based on output of 19,500 tonnes per year)
Bitumen	5	975
Filler	2.5	487.5
Diesel (Flux)	1	195
Coarse & Fine Aggregates	91.5	17,842.5
TOTAL	100	19,500

PO Box 1963
154 PEISLEY STREET ORANGE NSW 2800
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Mayor



We understand on the basis of the above volume reduction that the development avoids the trigger level as identified via clause 8 of Schedule 1 of the *Protection of the Environment Operations Act 1997* (POEO Act) for dangerous goods production. On this basis, we understand that a scheduled premises licence in accordance with Section 48 of the POEO Act is not required. For the avoidance of doubt, we also confirm that proposed on-site storage levels do not exceed the storage volumes for petrochemicals identified in Clause 9 of Schedule 1 of the POEO Act.

The reduction in the overall annual output also has a flow on effect in relation to traffic generation levels of the development as per the below.

Access, Transport and Traffic

Table 5.2 of the original SEE identified heavy vehicle volumes as a function of the annual input and output levels. This table was updated within our additional information document of 11 February 2014 as Table 1.1.3 to also provide per week figures.

Table 5.2A below is provided to supersede Tables 5.2 and 1.1.3 and provide an accurate summary of traffic generation figures based on the revised projected annual production level.

Table 5.2A – Average Weekly and Annual Volumes of Materials and Associated Truck Movements

Material	Volume per Year (tonnes)	Volume per Week (tonnes)	Heavy Vehicles in (per year)	Heavy Vehicles in (per week)	Heavy Vehicles Out (per year)	Heavy Vehicles Out (per week)
Bitumen	975	19	39	0.8		
Filler	487.5	9	19.5	0.4 - (<one every 2 weeks)		
Diesel (Flux)	195	4	8	0.2 - (<one every month)		
Aggregates	17,842.5	343	714	15		
TOTALS	19,500	375	780	22	780	15
Diesel (Heating)	225	4	10	0.2 - (< one per month)		
Emulsion	75	1.4	3	<one per month		
TOTAL VEHICLE MOVEMENTS			793	<15.5	780	15

Note: the volumes and truck movements are based on an output of 19,500 tonnes per year based on a typical load size of 25 tonnes.

As a result of the above, and in light of the assessment provided in the original SEE, it is considered that traffic impacts associated with the proposed development are acceptable.

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General Manager

Mayor



Other Matters

For the avoidance of doubt, the storage capacity of containers identified within the original SEE and additional information document is not proposed to change as a result of this additional information.

For the further avoidance of doubt, hours of operation are not proposed to change as outlined in the original SEE, however as noted on site, regular out of hours working would result in the exceedence of yearly output within significantly less than one year. As such, out of hours working would be the exception rather than the norm, and would be driven on a contract basis. As stated during out site meeting, our client has no objection to the provision of data from the plant to confirm production levels fall within the above projected levels.

Whilst we are of the firm opinion that air quality impacts associated with the development are likely to be negligible, should it be necessary to alleviate Council concerns in this regard, our client has no objection to the provision of a suitable management plan to confirm management of these potential impacts.

We trust that the above is sufficient to enable the completion of the Council's assessment in respect of this application and the making of a favourable decision. We understand, due to the minor departure from the provisions of the Development Control Plan that the application would need to be considered by a meeting of Council.

Finally, our client would like to open discussions with Council to undertake enabling works on site post DA but prior to issuance of the construction certificate, for the purposes of vegetation clearance and minor levelling. We consider that, as these works would not be in relation to either building or subdivision works, that can legitimately be undertaken in advance of the issuance of a construction certificate. We would welcome the opportunity to discuss this with you at your earliest convenience.

Please do not hesitate to contact the undersigned should you have any questions regarding any of the above matters.

Yours faithfully
Geolyse Pty Ltd

DAVID WALKER
Town Planner

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A handwritten signature in black ink, appearing to be "L. King", written over a horizontal line.

General Manager

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Mayor

4. Submission Origin Energy



25 February 2014

Kent Boyd
Parkes Shire Council
PO Box 337
Parkes NSW 2870

Dear Kent

**Origin Parkes LPG Terminal Submission Regarding -
Application No DA14006 (Hot Mix Asphalt Plant - Civil Independence)**

Notification received

On 13 February 2014, Origin Energy LPG Ltd (Origin) received notification from the Parkes Shire Council about a proposed Hot Mix Asphalt (HMA) plant at 27-31 Matthew Street, Parkes. Origin welcomes the opportunity to comment on the proposed application and our submission has been prepared based on the following information provided in the notification.

- 1) Letter - Development Application No: DA14006, 13 Feb 2014 (from Parkes Shire council to Origin)
- 2) Letter - Development Application No: DA14006, 24 January 2014 (from Parkes Shire Council to Civil Independence)
- 3) Statement of Environmental Effects (SEE), Proposed Asphalt Hot Mix Plant, prepared for Civil Independence NSW, December 2013
- 4) Additional Information, Proposed Asphalt Hot Mix Plant, DA14006, prepared for Civil Independence NSW, February 2014.

Origin site

By way of background, Origin operates an LPG Terminal at Ackroyd Street, Parkes. Our site is located to the immediate west of the proposed HMA plant and we share part of our northwest boundary with the proposed HMA plant. Our operation, which is comprised mainly of bulk LPG storage and cylinder filling, operation of bulk tankers and ancillary support activities, is manned 10 hours per day 5 days per week.

Origin submission

Origin supports the co-location of industrial activities in the appropriate land use zones. However, the current industrial area enjoys a high level of amenity and given that the proposed HMA asphalt plant has the capacity to significantly increase production in future (through the extension of plant operating hours) our main concerns are around impacts from odour, noise and dust.

Therefore, we seek from the Parkes Shire Council and the Applicant, a clearer understanding of the scale of the proposed activities and the controls and mitigation measures which will be in place to minimise the impacts of odour, dust and noise on our site and personnel.

Page 1 of 3

Origin LPG Ltd • 26 Pembury Road Minto NSW 2566 • Telephone (02) 9765 6400 • Facsimile (02) 9765 6464 • www.originenergy.com.au

General Manager

Mayor

- 1) The proposed HMA plant is a parallel flow plant. With regard to odour and particulate, has the applicant considered whether alternative HMA plant designs (e.g. counterflow plant) would result in lesser emissions to air.
- 2) We seek performance specifications for the proposed pollution control equipment - cyclone and wet scrubber and confirmation of whether the automatic temperature cut out system (160°C) on the HMA plant will be in place at all times.
- 3) We seek confirmation that the proposal is not intended for the processing of reclaimed asphalt (with exception of reclaimed asphalt from site process upsets).
- 4) The SEE shows tonnages and volumes of storage on site. But the additional information provided indicates the plant also has number of attached silos and vessels for storage. Could the applicant clarify the maximum storage capacity broken down according to:
 - a. Storage capacity for inputs and outputs that are detached from the HMA plant (i.e. requires manual transfer) vs
 - b. Storage capacity of inputs and outputs that form part of the HMA plant.
- 5) There are some inconsistencies in the total and average annual production and the maximum hourly capacity of the plant presented in the SEE and the additional information report. We seek clarification on:
 - a. Maximum and minimum production capacity of proposed plant design
 - b. Proposed maximum annual HMA production
 - c. Proposed maximum daily HMA production
 - d. Proposed maximum hour HMA production
- 6) We seek for all areas of the plant - particularly screens and elevated transfer points and conveyors to be fully enclosed and drop heights minimised.
- 7) We'd like to know the proposed management practices for storage, handling and disposal of:
 - a. Fly ash
 - b. Wet scrubber water and sludge
 - c. Material collected from the cyclone
 - d. Fines from the settling pond cleaning
- 8) The site layout drawings appears to show a 3m height for the holding bays around the site boundary, but the plant storage hoppers which will be manually loaded will be elevated to a height of 4m. Is the applicant confident that the height of screening around the boundary will be adequate to minimise wind-blown dust off site.
- 9) The applicant proposes to continuously monitor odour through odour complaints. Based on experience at other sites, this is considered to be a reactive approach and we seek a more pro-active approach to odour monitoring and management.

Page 2 of 3



General Manager



Mayor

- 10) Origin holds a large amount of LPG on site. The applicant has assessed the applicability of SEPP33 to the proposal using thresholds in Figure 9 of SEPP33 for Flammable Liquids 3 PG II and PG III. However, it is unclear whether the SEPP33 is applicable. We seek, from the Parkes Shire Council clarification, on whether
- The SEPP33 thresholds in the screening methods are based only on classifications from the ADG code;
 - The relevant classifications for diesel and bitumen for assessment under SEPP33 and whether SEPP33 applicable to the proposal.
- 11) The applicant has indicated that the noise goals identified in the NSW Industrial Noise Policy would not be exceeded in relation to the residential receivers much further away. However, the 'noise goals' are recommended maximums and the policy provides further guidance on appropriate adjusted goals where background noise levels are low. Furthermore, no comment has been provided in relation to the noise impacts on immediate neighbours. Could the applicant please provide an assessment of the impacts of noise on sites within the industrial area.

Please give me a call on the numbers below to discuss as required.

Regards,

John Chalmers
Area Operations Manager
Central NSW

Landline: 9765 6475
Mobile: 0419 929 491
John.Chalmers@originenergy.com.au



General Manager



Mayor

5. Late Submission - Jones

Mr Kent Boyd
The Manager
Parkes Shire Council

12th March 2014

Dear Sir

I am writing to you to inform you that I have not been notified of a Hot Tar Mix Business being established in the Industrial Estate, Mathew Street, Parkes prior to the approval by Parkes Shire .This Business is being built approximately 300 metres from my residence and for the past 38 years that I have resided here at 82 Station Street, Parkes I have never been written to by Parkes Shire Council regarding any D/A in the Industrial Area.

I was only made aware yesterday 11th March 2014 and as I am the closest resident to this new business/industry I would have appreciated being made aware of , to view and comment on the Development Application before it was passed by Parkes Shire Council.

Today I was allowed to view the plans of the above mentioned Hot Tar Mix at Parkes Shire Council but not allowed a copy but noted that the D/A was approved subject to regular Environmental Checks including Air Pollution (Stack Filters, Water Sprays) ,Odour ,Storm Water Filters.

I also observed that there does not appear to be any filters on the stacks emissions ,please correct me if I am wrong .

I have also enclosed a copy of the Environmental Guidelines on Best Available Techniques for the Production of Asphalt Paving Mixes for you perusal.

My husband has Chronic Airways Disease and I suffer from Allergies so you can appreciate my concerns on the above matter. I would appreciate a copy of results of the above mentions Environmental Checks made by Parkes Shire Council as per the D/A.

Thanking you for your assistance on this matter
Yours Faithfully

Rosanne Jones



General Manager



Mayor

6. Geolyse Response to origin Submission



Our Ref: 213265_LET_003A.docx

18 March 2014

The General Manager
Parkes Shire Council
PO Box 337
PARKES NSW 2870

Attention: Annalise Cummings

Dear Annalise

**RESPONSE TO SUBMISSION - DA14006 – PROPOSED ASPHALT HOT MIX PLANT,
MATTHEWS STREET, PARKES**

We write further to Council's correspondence dated 10 March 2014 relating to Council's receipt of a submission during the notification period for the above development application.

We note the content of the submission and provide the following responses, using the numbering provided in the submission letter. We note the concern's raised about the potential for future expansion of the facility to a higher capacity output; as per our most recent submission, this application seeks consent for an annual output of 19,500 tonnes of asphalt only. The potential for greater output would need to be the subject of the relevant approvals process, at which time all potentially affected parties would have the right to make further comment. This application does not contemplate any potential future expansion and nor is there obligation to do so.

1. As noted above, the applicant proposes the use of the plant type as per the original application. There is no obligation for the applicant to consider alternative and therefore no consideration is provided.
2. It is the applicant's view that sufficient information has been provide to Council via the initial SEE and at Section 1.3 of the subsequent submission dated 11 February 2014 to enable Council to confirm that the development would achieve compliance with the requirements of the Protection of the Environment (Clean Air) Regulation 2010. We therefore contend that further information regarding the specifications is unnecessary. For the avoidance of doubt, it is confirmed that the automatic temperature cut-out system would be operational at all times.
3. The use of recycled asphalt is not anticipated however it is also not ruled out. The use of recycled asphalt would not alter plant performance or emissions in any way on account of it being added to the plant with mixed virgin material, as opposed to being heated directly. There would be no crushing of recycled asphalt onsite.
4. Table 1.1.2 of the Geolyse additional information document, dated 11 February 2014, provides clear details of the maximum amounts of materials that would be stored on the

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General Manager

Mayor



site at any one time. The types of storage devices are confirmed in Table 1.1.1 of the same document. For the avoidance of doubt, the maximum capacity of these storage devices correlates with the maximum levels identified in Table 1.1.2.

5. Information provided as follows:

- a. This application seeks consent for a specific annual output and as such it is the applicant's view that the maximum and minimum capacity of the plant are irrelevant. It is confirmed that the proposed Mobimix 90 plant has the capacity to run at varying output levels which can achieve the proposed annual output as identified below.
- b. Proposed maximum production is capped at 19,500 tonnes per annum. As noted, any increase beyond this level would be subject to a separate approvals and exhibition process.
- c. Maximum daily and hourly levels are intentionally not provided to enable the plant to adopt a flexible approach to production, within the overall yearly maximum output. Average weekly levels are provided in Table 1.1.3 however it is acknowledged that there may be intermittent periods of higher activity as required to respond to orders. Given the industrial nature of the locality, we consider that this is not an unreasonable approach.
- d. As above.

6. All transfer points will feature fine mist sprays and all conveyors will either be covered or, where covers can't be fitted, would be wind protected.

7. Proposed management practises are as follows:

- a. Fly ash is stored in a silo and conveyed in totally enclosed augers;
- b. Wet scrubber water and sludge held in settling ponds;
- c. Cyclones are not fitted to this plant (not required);
- d. Due to the technical design of the drum mixer, there is only a very minimum amount of dust that escapes with the water scrubbing system which makes it possible to recycle the sludge without drying and causing dust problems

All waste emanating from the plant would be disposed of at an appropriate waste disposal facility or through appropriate Council approved processes.

8. The applicant is confident that the landscape screening, together with proposed dust management practises such as site watering, are sufficient to adequately minimise wind-blown dust offsite.

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General Manager

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Mayor



9. The applicant is satisfied that the proposed odour controls are satisfactory for the nature of the development. Following discussions with Council and the EPA the applicant has committed to the preparation of a suitable management plan setting out, among other things, odour management measures (such as complaint investigation response times etc.). It is understood the requirement for this is likely to be applied as a condition of consent and no objection to this is raised.
10. SEPP33 applies to hazardous and offensive industries, together with potential hazardous and potentially offensive industries. The screening method outlined in SEPP33 is used to determine whether a development is deemed to be hazardous or offensive, or potentially hazardous or potentially offensive, and therefore whether SEPP33 is applicable. In the event that an industry is identified as being potentially hazardous or potentially offensive, a preliminary hazard assessment is required. By applying the screening method, it is determined that the development is not considered to be potentially hazardous or potentially offensive and therefore a PHA is not required. No further assessment against SEPP33 is therefore warranted.
11. The NSW Industrial Noise Policy identifies at Table 2.1 that the amenity criteria for industrial premises is applicable when the facility is in use, and provides an acceptable level of 70 dB(A) and a maximum level of 75 dB(A). The SEE provides at Section 5.15.1.1 a summary of approximate noise emissions for all proposed plant. As these levels are well below 70 dB(A), it is considered that the development would achieve the acceptable level of 70 dB(A) at all nearby industrial properties.

Please do not hesitate to contact the undersigned should you have any questions regarding any of the above matters.

Yours faithfully
Geolyse Pty Ltd

DAVID WALKER
Town Planner

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General Manager

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Mayor

7. EPA Letter Advising Development Requires Licence Dated 03 April 2014



Our reference: SF14/1670 DOC 14/43406
Contact: Michelle Gibson, 02 68 835 330

General Manager
Parkes Shire Council
GPO Box 337
PARKES NSW 2870

Attention: Mr Ian Graham and Ms Annalise Cummings

Dear Mr Boyd,

I refer to Parkes Shire Council's (Council) letter received at the Environment Protection Authority (EPA) on 21 February 2014 and enclosed *Statement of Environmental Effects (SEE)* regarding development application No: DA14006 for the proposed Asphalt Hot Mix Plant in Parkes (the project).

The EPA notes it is yet to receive the IDA cheque for \$320. Normally, upon receipt of the IDA cheque, the EPA will provide a response to Council within the timeframes specified in the IDA provisions of the Environmental Planning & Assessment Regulation 2000.

The EPA understands that the development application (DA) seeks consent for the proposed development of an asphalt plant with a proposed production capacity of 29,000 tonnes per year.

The EPA has considered the details of the proposal provided by the applicant as described in the SEE and has determined that the proposal is Integrated Development (IDA) for the purposes of the EPA as the applicant will require an Environmental Protection Licence (EPL) for the project to undertake scheduled development work and carry out scheduled activities. Should the applicant obtain development consent, the applicant will need to make a separate application to the EPA to obtain a licence to undertake scheduled development (construction) works and scheduled activities prior to the commencement of any construction or production activities onsite.

An EPL will be required as the proposal as described in the SEE, currently meets the definition of *dangerous goods production* under Schedule 1 of the *Protection of the Environment Operations Act 1997* (POEO Act) Act as the proposed plant has the capacity to produce, blend, recover or use more than 1,000 tonnes of dangerous goods per year.

The proposal as described in the SEE and associated plans (specifically plan 03B_A03 entitled *proposed site layout*) also potentially meets the definition of chemical storage under Schedule 1 of the POEO Act as the proposed plant appears to have the capacity to store 2000 tonnes of general chemicals or petroleum products as defined under Schedule 1 of the POEO Act.

To clarify, the proponent must obtain an EPL from the EPA prior to commencement of any construction works or production activities as described in the SEE. If the proponent fails to obtain an EPL and undertakes scheduled development works or activities without an EPL, the proponent will be in breach of Sections 47 and 48 of the POEO Act and the EPA will need to consider taking regulatory action.

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General Manager

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Mayor

Page 2

At this stage the EPA is not prepared to issue its General Terms of Approval (GTA) for the proposed Asphalt Hot Mix Plant, because the information provided on the proposal is insufficient for the EPA to properly assess the environmental impacts of the proposal. For the EPA to consider issuing GTAs, additional information is required. In summary, the main information required by the EPA relates to the following.

Air Quality

Further information is required regarding impacts on air quality in the locality including provision of an Air Quality Impact Assessment accounting for all air emissions including but not limited to odour and all other potential air pollutants.

Noise Assessment

Further information is required to allow impacts from noise to be assessed.

The information requirements are discussed further in Attachment 1. The EPA cannot issue an EPL until it has fulfilled its obligations under Section 45 of the POEO Act, that is:

- consideration of the pollution caused or likely to be caused by the carrying out of the activity or work concerned;
- the likely impact of that pollution on the environment and the practical measures that could be taken to prevent, control, abate or mitigate that pollution, and to protect the environment from harm as a result of that pollution.

If the matters for consideration under Section 45 of the POEO Act have not been sufficiently addressed as part of Council's assessment process to the satisfaction of the EPA, the EPA may be unable to issue an EPL or the project may require additional pollution control systems before the EPA can issue an EPL to allow schedule development works or activities to take place.

The EPA has significant concerns that the impacts of the project have not yet been properly assessed in terms of potential impacts to the community and environment. The EPA urges Council to follow the appropriate process of the IDA provisions of the EP&A Act to ensure that the full impacts of the project are appropriately assessed and all necessary measures to prevent, control, abate or mitigate pollution are implemented prior to issue of consent.

Further to this the EPA urges Council to include the EPA in its assessment of the impacts of the project so the EPA can formulate appropriate General Terms of Approval for inclusion in Council's consent and any subsequent EPL.

In light of the above request for additional information, the EPA notes that the deemed refusal clock will be stopped from the receipt of this letter until the information is provided. The EPA also requests that Parkes Shire Council contact the Dubbo office of the EPA once the information has been received so that arrangements can be made regarding forwarding the information in a timely manner. Please note you are welcome to fax additional information to the Dubbo office on 02 6884 8675.

Should you have any enquiries regarding this matter, please contact Michelle Gibson at the Dubbo Office of the EPA by telephoning (02) 6883 5330.

Yours sincerely

BRADLEY TANSWELL
Acting Head Pesticides Operations and Planning
Environment Protection Authority

Encl: Attachment 1: Additional Information Required



General Manager



Mayor

Attachment 1

Air Quality Impact Assessment

The EPA request that the proponent prepare an Air Quality Impact Assessment for the project to demonstrate the project will not cause any adverse health or environmental air impacts or impacts on local amenity due to odour.

The proponent should assess air impacts in accordance with the EPA document "*Approved Methods and Guidance for the Modelling and Assessment of Air Pollutants in New South Wales 2005*". Appropriate air pollution and odour mitigation measures must be outlined in the Air Quality Impact Assessment. The Air Quality Impact Assessment must also be prepared in accordance with the following material:

- Protection of the Environment Operations (Clean Air) Regulation 2002;
- Approved Methods for the Sampling and Analysis of Air Pollutants in NSW; and
- Assessment and Management of Odour from Stationary Sources in NSW.

Noise Assessment

The SEE (Geolyse 2013) provides insufficient information for the noise impacts on sensitive receivers to be assessed. The SEE refers to a *Report for Asphalt Plant Development Proposal and Environmental Management Plan, Asphalt Suppliers Pty Ltd* (the "Ulverstone Report", GHD 2008), which has also been provided to the EPA.

The Ulverstone Report assessed the noise impact of an asphalt plant proposal in Ulverstone, Tasmania. Whilst the plant proposed at Parkes may be similar to that modelled at Ulverstone, the location is different and therefore the existing noise environment, receiver locations, meteorological and topographical effects will be substantially different.

The proponent should provide a full Noise Impact Assessment (NIA) of the proposed plant at Parkes in accordance with the *New South Wales Industrial Noise Policy* (EPA 2000). Usually, for an Integrated Development Application, the NIA is included as an information requirement with the Director General's Requirements (DGR) issued by the EPA. The EPA notes it did not receive a request for DGR's and has not attended a Planning Focus Meeting for the project.

Other EPA guidelines which should be referred to in the NIA include the *Application Notes – NSW Industrial Noise Policy* (<http://www.epa.nsw.gov.au/noise/applicnotesindustnoise.htm>), *Interim Construction Noise Guideline* (DECC 2009) and *NSW Road Noise Policy* (DECCW 2011).



General Manager



Mayor

8. Geolyse Confirmation that development does not require Licence



Our Ref: 213265_LET_004A.docx

4 April 2014

The General Manager
Parkes Shire Council
PO Box 337
PARKES NSW 2870

Attention: Annalise Cummings

Dear Annalise

DA14006 – PROPOSED ASPHALT HOT MIX PLANT, MATTHEWS STREET, PARKES

We write further to the correspondence from the Environment Protection Authority (EPA) of 3 April 2014, provided to us on the 4 April 2014.

We note the content of the correspondence and the advice of the EPA that they consider the development to be integrated by virtue of requiring an Environment Protection Licence (EPL).

As set out in our Statement of Environmental Effects, dated 24 December 2014, as amended by our Additional Information document of 11 February 2014 and our correspondence of 24 February 2014 (correspondence attached and previously supplied to both Council and the EPA) the development as proposed seek consents to produce 19,500 tonnes of asphalt per year. This yearly production level requires the input of a maximum of 975 tonnes of bitumen. On this basis, the development would not produce, blend, recover or use greater than 1,000 tonnes per year of a dangerous good (in this case bitumen). Neither would the development have the capacity to store more than 2,000 tonnes of general chemicals or petroleum products, as demonstrated in Table 1.1.2 of our Additional Information document of 11 February 2014. On this basis, the plant would not have the capacity to produce more than 30,000 tonnes per year of asphalt.

As a result of the above, it is our opinion that the development is not of a capacity that meets the relevant definitions outlined in Schedule 1 of the Protection of the Environment Operations Act 1997 and on this basis, an EPL is not required. We are of the opinion that the capacity of the plant is directly restricted by the proposed output level and any consent granted.

For the avoidance of doubt, the applicant understands that any future intention to increase plant production, dangerous goods production or chemical storage would need to be the subject of further consent from Council and an EPL from the EPA. However, there is no certainty at this time that such an increase would occur.

On the basis of the above, the applicant confirms that they would like Council to continue to assess this application as local development only.

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General Manager

Mayor



Please do not hesitate to contact the undersigned should you have any questions regarding any of the above matters.

Yours faithfully
Geolyse Pty Ltd

DAVID WALKER
Town Planner

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General Manager

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Mayor

9. Letter from EPA dated 07 April 2014



Our reference: SF14/1670 DOC 14/43406
Contact: Michelle Gibson, 02 68 835 330

General Manager
Parkes Shire Council
GPO Box 337
PARKES NSW 2870

Attention: Mr Ian Graham and Ms Annalise Cummings

Dear Mr Boyd,

I refer to the Environment Protection Authorities (EPA) letter dated 3 April 2014 requesting additional information regarding development application No: DA14006 for the proposed Asphalt Hot Mix Plant in Parkes (the project).

As indicated in the EPA's letter dated 3 April 2014, the EPA has significant concerns that the impacts of the project have not yet been properly assessed in terms of potential impacts to the community and the environment. Further to the EPA's request for additional information the EPA would like to provide the following advice.

In the event the additional information to assess the full impacts of the project on noise and air are not provided for assessment, the EPA recommends that Council refuse the development application as currently described in the Statement of Environmental Effects (SEE) for the following reasons:

- Insufficient information has been provided to assess the full impacts of the project on the community and environment;
- The current information is not considered sufficient to satisfy Part 5 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) that is, sufficient information to *examine and take into account to the fullest extent possible all matters affecting or likely to affect the environment*;
- Uncertainty exists as to whether the project has all necessary measures to adequately prevent, control, abate or mitigate noise and/or air pollution and ensure local air and noise amenity can be sufficiently maintained; and
- The EPA considers that the Integrated Development Application (IDA) provisions of the EP&A Act and *Environmental Planning and Assessment Regulation 2000* have not been adhered to for this project.

If you have any questions, or wish to discuss this matter further please contact Michelle Gibson in the Dubbo EPA office by telephoning 02 6883 5330.

Yours sincerely,

BRAD TANSWELL
A/Head Far West Operations
Environment Protection Authority

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General Manager

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Mayor

10. EPA response Dated 11 April 2014



Our reference: SF14/1670 DOC 14/49594-01
Contact: Michelle Gibson, 02 68 835 330

General Manager
Parkes Shire Council
GPO Box 337
PARKES NSW 2870

Attention: Ms Annalise Cummings

Dear Mr Boyd,

I refer to the email sent to the Environment Protection Authority (EPA) on 9 April 2014 from Parkes Shire Council (Council) and attached letter from Geolyse Pty Ltd regarding development application No: DA14006 for the proposed Asphalt Hot Mix Plant in Parkes (the project).

The EPA is still of the opinion that an Environmental Protection Licence (EPL) is required for the project for the following reasons:

- The proposed plant seeks to produce 19,500 tonnes of asphalt per year;
- The project has a proposed capacity of 29,000 tonnes of asphalt per year;
- The EPA considers that the asphalt product to be produced will be a *Class 9 Dangerous Good – Miscellaneous dangerous substances and articles*; and
- The project as described in the SEE and associated plans and in subsequent information provided by the proponent also appears to meet the definition of chemical storage under Schedule 1 of the POEO Act as the proposed plant appears to have the capacity to store 2000 tonnes of general chemicals or petroleum products as defined under Schedule 1 of the POEO Act.

The EPA remains of the opinion that the project is Integrated Development from EPA's perspective as it requires an Environmental Protection Licence (EPL) with the EPA to undertake Scheduled Development work and Scheduled Activities.

The EPA would like to draw Council's attention to the provisions of section 91A(2) (Development that is integrated development) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) that states: *before granting development consent to an application for consent to carry out the development, the consent authority must, in accordance with the regulations, obtain from each relevant approval body the general terms of any approval proposed to be granted by the approval body in relation to the development. Nothing in this section requires the consent authority to obtain the general terms of any such approval if the consent authority determines to refuse to grant development consent.*

As advised in our previous correspondence, the EPA is not prepared to issue General Terms of Approval for the project and is unable to grant an approval for the project as proposed in the *Statement of Environmental Effects – Proposed Asphalt Hot Mix Plant* unless the outstanding issues identified in previous correspondence on this matter are sufficiently addressed.

The EPA's advice provided on 7 April 2014 stands. The EPA recommends that the Integrated Development provisions set out in Section 91A of the EP&A Act should be applied.

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General Manager

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Mayor

Page 2

If you have any questions, or wish to discuss this matter further please contact Michelle Gibson in the Dubbo EPA office by telephoning 02 6883 5330.

Yours sincerely,

BRAD TANSWELL
A/Head Far West Operations
Environment Protection Authority



General Manager



Mayor

13 DIRECTOR ENGINEERING SERVICES REPORT

13.1 (DES) Works Program Progress

Executive Summary

Other than routine maintenance, major works that have been carried out over the past month are reported below.

Background Information

Details are provided monthly on the progress of major works in Council's construction program.

Legislative or Policy Implications

Nil.

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to: *8. Maintain and improve the Shires Assets and Infrastructure*

Predicted positive effect / opportunity for the Delivery Program: *Good*

Works carried out fulfil the aims of the Delivery Program in maintaining and improving the Shire's assets.

Predicted negative / challenge to the Delivery Program: *Moderate*

If maintenance works and upgrading of Council's assets are not carried out then they will deteriorate at a greater rate, affecting the whole community.

Quadruple Bottom Line



Economic

★★★★☆



Environmental

★★★★☆



Social

★★★★☆



Civic Leadership

★★★★☆

The cost of maintaining and improving assets is increasing, thus creating a negative impact on Council's economic situation. This is offset by the positive impact on the Shire's economy through assisting access to services for the community and industry. The result of expending the funds creates a positive impact on the Social and Civic Leadership aspects in providing the best service possible to the community, at the least impact on the Environment.

General Manager

Mayor

Budget & Financial Aspects

Projects have been allocated funding either from grants or Council funds as provided in the Operational Budget.

Recommendation

1. That the information on Works Program Progress as at April be noted.

Report

Main Roads

Peak Hill to Tullamore Road (MR348) - gravel resheeting west end In progress

Roads to Recovery

Terowie Road timber bridge replacement In progress

Financial Assistance Grant - Road Construction

Southern Ring Road Stage 1 - survey and design In progress

Financial Assistance Grant - Gravel Resheeting

Cookamidgera Road (SR10)	Complete
Mingerong Road (SR129)	Complete
Hervey Park Road (SR92)	Complete
Back Yamma Road (SR2)	In progress
Cooka Hills Road (SR12)	Complete
Collingwood Lane (SR149)	In progress

Urban Construction

Thomas Street widening	Complete
Coronation Avenue K&G, cul-de-sac	Complete
Harris Street construction	Complete

Parkes Regional Airport

Runway lighting upgrade	Complete
Upgrade carpark - survey and design	In progress
Provide potable water - main extension	Complete

Water Supply

Lake Endeavour Dam - Strengthen & Flood Security Upgrade	Preferred Selected	Tenderer
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Special Rates Variation

Pool blankets - Peak Hill, Trundle, Tullamore	Complete
Flood Plans - Bogang Gate	Survey complete
	Comments received at Community Meeting
- Tullamore	Consultant for assessment
Footpaths - Trundle	In progress
Footpaths - Peak Hill	Options received from PHCCC
Drainage - improvements west of Forbes Rd	Complete
Sports Ground Master Plans	Spicer Precinct - meeting 9 April



General Manager



Mayor

Tullamore - meeting 16 April
Harrison Park - meeting held 20 March
Peak Hill, Trundle, - Consultant briefed

Attachments

1. Major Projects Update.

Monthly Traffic Light Report					
LAKE ENDEAVOUR DAM STRENGTHENING AND FLOOD SECURITY UPGRADE PROJECT UPDATE					
Project Aspect	Accountable / Responsible	Overall Status	Risks	Change from prev.	Comments
Compliance with Dam Safety Committee (DSC) Requirements / Design Standards	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> The NSW Public Works (PW) design has been peer reviewed and approved to progress by the DSC. The Safety in Design Risk Assessment (RA) has been expanded via the Broad Brush RA. To ensure delivery conformance, the PSC Project Man. Office (PMO), which includes PM, PSO, HSECQ Super. + QA Eng. + PW + Survey, will supervise construction works and the Principal Contractor (PC) is required certify the construction works.
Deliver the Project Safely / Incident Free	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> WHS Management System, inclusive of PSC Policies, has been implemented and will be maintained by the PMO + PC throughout the project. To ensure delivery conformance, the HSECQ Supervisor will be on site full-time during construction. Our goal is ZERO harm.
Delivery on Schedule	Manager Natural Resources / PMO	●	●	↑	<ul style="list-style-type: none"> A comprehensive project schedule has been implemented and will be maintained by the PMO + PC throughout the project. There is a potential delay to the awarding of the Construction Contract, mitigation measures are in place.
Maximise Funding & Approved Capital Works Budget Maintained	Manager Natural Resources / PM + Finance Dpt.	●	●	↑	<ul style="list-style-type: none"> A comprehensive project financial model has been implemented and will be maintained by the PMO + Finance Dpt. throughout the project. Accounts reconciliation (with Practical) occurs fortnightly and the accounts will be routinely audited for Grant Funding (GF) claim purposes. Estimate for quantity variability to be included in agreed funding. Total Project Budget \$11.1M, initial feedback is Council will be requested to make more than one claim, PMO will develop mitigation measures. Council and Ministerial approval (incl. GF schedule) of the PW Tender Evaluation is required prior to awarding the Construction Contract (+\$8M). Procurement / Works Orders shall be processed in accordance with PSC policies and practices, with local content preferred.
Maintain Funding Claim Milestones with NSW Office of Water (NOW)	Manager Natural Resources / PM + Finance Dpt.	●	●	↑	<ul style="list-style-type: none"> Regular open & clear comms + transparency will be maintained with NOW. Through fortnightly reviews with the Finance Dpt. + audited accounts, claims will be made to schedule in accordance with NOW requirements.
Positive Stakeholder Consultation	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> Approved Communications Management Plan has been implemented and will be maintained by the PMO throughout the project.
No Environmental Impacts	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> REF concluded that the proposed activity is not likely to have a significant impact on the environment nor affect threatened species, populations, ecological communities, or critical habitat. Environmental Management System, inclusive of PSC Policies, has been implemented and will be maintained by the PMO + PC throughout the project.

General Manager

Mayor

Monthly Traffic Light Report					
PARKES WATER TREATMENT PLANT PROJECT UPDATE					
Project Aspect	Accountable / Responsible	Overall Status	Risks	Change from Previous	Comments
Effective Water Quality and Efficient Water Delivery to Parkes / Peak Hill to Meet the Townships Demands	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> Effective Water quality and efficient water production / delivery - "Carbon Smart" - to Parkes / Peak Hill to meet the current & future town demands - "Future Proof". It is important the new WTP is soundly based and provides the long term capacity and reliability required by Council - "Carbon Smart". Meet the water supply delivery demands to Parkes / Peak Hill based on the population growth and number of developments and ensure the quality of treated water produced at a future WTP shall meet or better ADWG2011. The NSW Public Works (PWD) has completed the draft Concept Design Report, once approved PMO will then progress the Section 60 Approval.
Deliver the Project Safely / Incident Free	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> WHS Management System, inclusive of PSC Policies, will be implemented and will be maintained by the PMO + PC throughout the project. The 1st Broad Brush Risk Assessment Workshop for Site Option analysis has been conducted. Refer PSC - WTP - Project # 2014009 + 650-8419 - WTP BBRA_260414b. Our goal is ZERO harm.
Procurement Strategy that Generates Value for PSC	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> A request for information has been prepared seeking information from selected experienced industry specialists on possible project delivery methodologies / alternate technologies and the associated indicative timelines / Terms & conditions and order of magnitude budgets. This is in line with Council's procurement strategy and investigates options in the delivery of Major Projects that reflect the current competitive market place and value for money. PMO will develop a tailored project procurement strategy that minimises technology risk to Council, maximises local content / skills development and provides best value.
Delivery on Schedule	Manager Natural Resources / PMO	●	●	↑	<ul style="list-style-type: none"> A comprehensive project schedule will be implemented and will be maintained by the PMO + PC throughout the project. Works on this Project are to be completed by mid 2016, however preliminary feedback from industry specialists suggests this timeframe is very tight.
Approved Capital Works Budget Maintained	Manager Natural Resources / PM + Finance Dpt.	●	●	↑	<ul style="list-style-type: none"> A comprehensive project financial model will be implemented and will be maintained by the PMO + Finance Dpt. throughout the project. The budget estimate for the STP project is \$28M., however the initial budget from PWD is in excess of the agreed budget. PMO will implement mitigation measures. Accounts reconciliations (with Practical) occurs fortnightly and the accounts will be routinely audited. Procurement / Works Orders shall be processed in accordance with PSC policies and practices, with local content preferred.
Maximise External Funding Provisions	Manager Natural Resources / PM + Finance Dpt.	●	●	-	<ul style="list-style-type: none"> Regular open and clear comms + transparency will be maintained with NOW. Our aim is to negotiate the maximum external funding possible. Through fortnightly reviews with the Finance Dpt. + audited accounts, claims will be made to schedule in accordance with NOW requirements.
Positive Stakeholder Consultation	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> Approved Communications Management Plan will be implemented and will be maintained by the PMO throughout the project.
No Environmental Impacts	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> The Review of Environmental Factors will be prepared and approved by the PSC P&E Dpt. All Environmental Factors will be closed-out prior to commencing site works. Our aim to complete the project with zero impact on the environment.

General Manager

Mayor

Monthly Traffic Light Report					
PARKES SEWAGE TREATMENT PLANT PROJECT UPDATE					
Project Aspect	Accountable / Responsible	Overall Status	Risks	Change from Prev. Rpt	Comments
To Meet Effluent Quality / Requirements and Provide a Increased Capacity for Projected Population Growth in Parkes.	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> Address the current plant deficiencies and provide reliable and robust sewage treatment for the long term future - "Future Proof". It is important the new STP is soundly based and provides the long term capacity and reliability required by Council - "Carbon Smart". To meet effluent quality / requirements as nominated by Council / approving Authorities. NSW Public Works Department (PWD) has completed the Concept Design Report. PMO are progressing the Section 60 Approval and Energy Efficiency Reviews.
Deliver the Project Safely / Incident Free	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> WHS Management System, inclusive of PSC Policies, will be implemented and will be maintained by the PMO + PC throughout the project. Our goal is ZERO harm.
Focus on Effluent Quality for Direct Environmental Discharge and Maximise Reuse	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> The upgrade will provide a high quality effluent suitable for a range of reuse applications. Nutrients are a focus of the EPA in the licensing of sewage treatment systems. Effluent quality and process reliability is a key consideration for effluent reuse.
Procurement Strategy that Generates Value for PSC	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> A request for information has been prepared seeking information from selected experienced industry specialists on possible project delivery methodologies / alternate technologies and the associated indicative timelines / terms & conditions and order of magnitude budgets. This is in line with Council's procurement strategy and investigates options in the delivery of Major Projects that reflect the current competitive market place and value for money. PMO will develop a tailored project procurement strategy that minimises technology risk to Council, maximises local content / skills development and provides best value.
Delivery on Schedule	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> A comprehensive project schedule will implemented and will be maintained by the PMO + PC throughout the project. Works on this Project are to be completed by mid 2016.
Approved Capital Works Budget Maintained	Manager Natural Resources / PM + Finance Dpt.	●	●	-	<ul style="list-style-type: none"> A comprehensive project financial model will be implemented and will be maintained by the PMO + Finance Dpt. throughout the project. The budget estimate for the STP project is \$20M. Accounts reconciliations (with Practical) occurs fortnightly and the accounts will be routinely audited. Procurement / Works Orders shall be processed in accordance with PSC policies and practices, with local content preferred.
Maximise External Funding Provisions	Manager Natural Resources / PM + Finance Dpt.	●	●	-	<ul style="list-style-type: none"> Regular open and clear comms - transparency will be maintained with NOW. Our aim is to negotiate the maximum external funding possible. Through fortnightly reviews with the Finance Dpt. - audited accounts, claims will be made to schedule in accordance with NOW requirements.
Positive Stakeholder Consultation	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> Approved Communications Management Plan will be implemented and will be maintained by the PMO throughout the project.
No Environmental Impacts	Manager Natural Resources / PMO	●	●	-	<ul style="list-style-type: none"> The Review of Environmental Factors will be prepared and approved by the PSC P&E Dpt. All Environmental Factors will be closed-out prior to commencing site works. Our aim to complete the project with zero impact on the environment.

General Manager

Mayor

13.2 (DES) Request for Assistance - Tullamore Irish Festival

Executive Summary

A request has been received from the organisers of the Tullamore Irish Festival requesting assistance from Council in implementing traffic control services during the street parade for this year's Festival.

Background Information

Nil.

Legislative or Policy Implications

Nil.

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to: *4.2.4 Grow and Diversify the Economic Base: Develop and support the Tourism Industry: Increase visitation to Villages.*

Predicted positive effect / opportunity for the Delivery Program: *Good*

Predicted negative / challenge to the Delivery Program: *Low*

Quadruple Bottom Line



Economic ★★☆☆☆



Environmental ★★☆☆☆



Social ★★★★★



Civic Leadership ★★☆☆☆

Budget & Financial Aspects

The 356 Donations fund is expended for 2013/2014 and there are limited funds in the Festivals and Functions Vote.

Recommendation

1. For consideration by Council.

General Manager

Mayor

Report

The organisers of the Tullamore Irish Festival have requested assistance from Council in implementing traffic control services the road barricades during the street parade for this year's Festival.

The street parade is scheduled to be held on Saturday 19 April 2014 which is the Saturday of the Easter weekend.

In previous years Council has provided the barricades on the day prior to the Festival and collected them on the first working day after the Festival. Local Trundle SES volunteers have erected and manned the barricades for the duration of the parade.

Changes to WH&S Legislation for SES volunteers now prevents them undertaking the erection and manning of road barricades, unless in a case of emergency.

An approximate cost for Council staff to undertake the erection and manning of the barricades is approximately \$1,915.00 plus GST. This covers three (3) Council staff and a Council vehicle.

Council provides the assistance of the events and tourism staff but has not previously provided any funding to the Festival.

Attachments

Nil.



General Manager



Mayor

13.3 (DES) NSW Local Government Road Safety Program - Extension of Funding Commitment

Executive Summary

Advice has been received that the funding for the Local Government Road Safety Program, under which Melanie Sutor is employed as the Road Safety Officer for Parkes, Forbes and Lachlan Shire Councils, will be extended for a further 3 Years commencing 1 July 2014.

Background Information

The Road Safety and Injury Prevention Officer has been employed collectively by the Shires of Lachlan, Forbes and Parkes, together with Roads and Maritime Services, under the Local Government Road Safety Program since May 2002. A review of the Program has been in progress for the last few years with the current Program being extended on a year by year basis.

Legislative or Policy Implications

Nil.

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to: 2. *Improve Health and Well Being*

2.5. *Maximise Public Safety*

2.5.1. *Continued support of the role and functions of a Road Safety and Injury Prevention Officer and implementation of the Road Safety Strategic Plan*

Predicted positive effect / opportunity for the Delivery Program: *Good*

Continuing support of Road Safety initiatives meets the Delivery Plan's objectives in relation to improving the health and well being of the community.

Predicted negative / challenge to the Delivery Program: *Negligible*

Continuing the support of Road Safety initiatives has no negative impacts on the Delivery Plan's objectives.

Quadruple Bottom Line



Economic

★★★★☆



Environmental

★★★★☆



Social

★★★★☆



Civic Leadership

★★★★☆

Supporting Road Safety has positive impacts in all areas of the Quadruple Bottom Line through working for a reduction in the incidence of road trauma.

General Manager

Mayor

Budget & Financial Aspects

Program expenditure is confined to approved budgets.

Recommendation

1. That Parkes Shire Council continue its participation in the Local Government Road Safety Program and sign the Deed of Variation when received.
2. That Council write to Minister Gay and compliment him on providing funding certainty for the Road Safety Program.

Attachments

1. Letter from Minister for Roads and Ports.



General Manager



Mayor



The Hon. Duncan Gay MLC
Deputy Leader of Government in the Legislative Council
Minister for Roads and Ports

21 MAR 2014

PR13/24867

Councillor Ken Keith
Mayor
Parkes Shire Council
PO Box 337
PARKES NSW 2870

Dear Councillor Keith

**NSW Local Government Road Safety Program:
Three year funding commitment for Road Safety Officer positions and projects**

I am inviting your council to participate in the revised Local Government Road Safety Program (LGRSP) which will commence from 1 July 2014.

The program will provide a three year funding commitment for local Council Road Safety Officer (RSO) positions and local road safety projects. This ensures greater funding certainty for RSO positions and support for the planning and delivery of local road safety projects of up to three years duration.

Under the revised LGRSP, councils may apply for grants to develop and implement local road safety projects addressing road user behaviours, such as speeding, drink driving and fatigue. The Council will develop a Three Year Road Safety Action Plan demonstrating their commitment to the program.

Funding will be provided on an annual basis. Applications will be competitively assessed and ongoing funding is dependent on successful delivery of the agreed Plan by Council each year.

The LGRSP will continue to be administered by Roads and Maritime Services' (RMS) regional offices. Transport for NSW and RMS continue to engage with local Councils through delivery of a series of workshops on the Safe Systems approach to developing local road safety projects.

If you have any questions about the program, please contact your RMS Regional Network and Safety Manager.

Yours sincerely


Duncan Gay MLC
Deputy Leader of Government in the Legislative Council
Minister for Roads and Ports

Level 35, Governor Macquarie Tower, 1 Farrer Place, Sydney NSW 2000
Phone: (61 2) 9228 5271 Fax: (61 2) 9228 5499 Email: office@gay.minister.nsw.gov.au



General Manager



Mayor

13.4 (DES) Rural Road Advisory Group Meeting

Executive Summary

A meeting of the Rural Road Advisory Group was held Wednesday 2 April 2014 at Peak Hill. The Minutes of the meeting are attached for Council's information.

Background Information

The intention of the Rural Road Advisory Group is to provide a forum for discussion on proposed programs in relation to whether they satisfactorily address the needs of the rural community on a priority basis utilising available funds. The inaugural meeting was held 23 October 2013. Members of the Group represent the following key user groups:

- Peak Hill, Trundle, Tullamore, and Bogan Gate communities
- NSW Farmers
- Parkes, Peak Hill, Trundle, and Tullamore rural school bus runs
- Transport industry
- Parkes Shire Council

Legislative or Policy Implications

Nil.

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to: *8. Maintain and improve the Shires Assets and Infrastructure*
8.2. Manage Road Assets

Predicted positive effect / opportunity for the Delivery Program: *Good*

The opportunity provided by consultation with an advisory group for the improvement of the road network supports this key Delivery Plan action.

Predicted negative / challenge to the Delivery Program: *Negligible*

The Group has no negative impacts.

Quadruple Bottom Line



Economic

★★★★☆



Environmental

★★★★☆



Social

★★★★☆



Civic Leadership

★★★★☆

Establishing a forum for consultation with key users for the utilisation of funding on preservation of assets has positive impacts across the Quadruple Bottom Line, addressing environmental and social problems in the road system, showing strong Civic Leadership.

General Manager

Mayor

Budget & Financial Aspects

The Group makes comments and/or recommendations on projects and funding allocations to assist Council to best utilise road budgets.

Recommendation

1. That the information on the Rural Roads Advisory Group meeting be noted.

Attachments

1. Minutes from the Rural Road Advisory Group meeting held 2 April 2014



General Manager



Mayor

**MINUTES OF THE PARKES SHIRE COUNCIL RURAL ROAD ADVISORY GROUP
MEETING 2 APRIL 2014**

Meeting Opened: 6.08pm

Present:

Garry Parker - Peak Hill School Bus
Graeme Hunter - NSW Farmers, Parkes
Gary Langley - NSW Farmers, Tullamore
Cr Alan Ward
Ben Howard - Acting Director Operations
Robert Mortimer - Tullamore & District Community Consultative Committee
Cr Louise O'Leary

Apologies:

Cr Ken Keith (Chair)
Cr Barbara Newton
Cr Ken McGrath
Kent Boyd - General Manager
Alan Magill - Transport industry
Peter McQuie - Western Road Liners
Clint Fitzsummons - Manager Assets
Rachel Swindell - Technical Officer
Steve Barry - Director Engineering Services - Leave
Viv Bolam - Tullamore School Bus, East
Brian Byrne - Peak Hill Community Consultative Committee
Peter Kelly - Trundle Community Consultative Committee
Andrew Rawsthorne - Trundle Community Consultative Committee
Jeff Moody - Trundle School Bus
Owen Miller - NSW Farmers, Parkes

Minutes of the Last meeting:

Accepted.

Matters Arising from the Minutes:

Relevant sections of the Operating Budget was circulated and discussed by the Group members, program for resheeting 14/15 to be decided on at next meeting.

Update on Current programs

Rural Construction (\$690,000 in total available)

Projects previously identified:

Middle Trundle Road	Replace causeway base	\$30,000 - Works Programmed
Adavale/Ascot Road	Various sections NPM/Tr route (inc new concrete causeway)	\$100,000 - Works Programmed
Wyatts Lane (contribution)	Widening/intersection upgrade	\$150,000 - Works Programmed
Total		\$280,000 - Awaiting Applicant

Works to allow road train and/or B Double access:

Terowie Road	Replace causeway	\$30,000 - Works Programmed
New Park Lane/McGrane Way	Upgrade intersection	\$100,000 - Design Underway
Yethra Road	Replace damaged causeway	\$50,000 - Works Programmed
Mamre Road	Intersection upgrades with Newell	\$200,000 - Design Underway
Total		\$660,000



General Manager



Mayor

Update on current Financial Assistance Grant - Road Component (assuming \$1,900,000)

Road Rehabilitation/Construction

Gravel Resheeting	Underway
Reseals - Rural	Complete
Reseals - Urban	Complete

General Business

- The Traffic Committee be asked to review the restriction on RAV operation during school bus times. This is to go to the next Traffic Committee Meeting being held on 14 May 2014.
- MR350S south of Gunningbland be considered for resealing under the Block Grant programs.
- It was believed that MR348 west of Dunmore was to be resealed under the Block Grant programs.
- Ascot Road has an old concrete causeway edge creating a vehicle hazard near the property entrance to "Ascot". These are to be carried out under the current Rural Construction Program.
- Wet weather restrictions were discussed by the group and it was pointed out that the main offenders are major industry operators. How do we get the notice out better to advise them of the restrictions.
- Terowie Bridge progress update was given
- MR354 McGrane Way/ MR57 Tullamore to Tottenham Road intersection to be considered on General Business next meeting.
- Blue Letter Box Lane needs suckers to be graded.
- Get RRAG minutes out to papers.
- Middle Trundle Road - Soft Spot in causeway.
- Graeme Hunter has stepped down from his position, he is going to contact NSW Farmers Federation about a replacement.

Next meeting: 6pm on Wednesday 7 May 2014 at Tullamore.

Meeting closed: 7.00pm.



General Manager



Mayor

14 CONSIDERATION OF COMMITTEE MINUTES

14.1 Committee Minutes - Economic Development Committee - Airport Sub Committee - Meeting held 1 April 2014 - Bogan Gate

Executive Summary

A meeting of the Airport Sub Committee was held in Bogan Gate on the 1 April 2014. The Committee met to discuss the latest the progress of the Parkes Regional Airport redevelopment and to review and approve the functional brief which has been developed by Rehbein Airport Consultants to call for expressions of interest for Architects for the design of the Airport Terminal. The minutes of the meeting are attached.

Background Information

The Airport Sub Committee is Chaired by the Deputy Mayor Cr Alan Ward and meets regularly to make "gateway" decisions about the redevelopment of the Parkes Regional Airport.

Legislative or Policy Implications

Nil

Progressive Delivery Program Implications

The resolution in this report will primarily effect the Delivery Program Future Direction relating to:
5. Develop Parkes as a National Logistics Hub
5.4 Make Parkes Regional Airport progressive and profitable

Predicted positive effect / opportunity for the Delivery Program: *Good*

Predicted negative / challenge to the Delivery Program: *Moderate*

Quadruple Bottom Line



Economic ★★★★★



Environmental ★★★★★



Social ★★★★★



Civic Leadership ★★★★★

Budget & Financial Aspects

Nil.

General Manager

Mayor

Recommendation

1. That the Minutes of the Economic Development Committee - Airport Sub Committee meeting held on 1 April 2014 be received and noted and if appropriate, the recommendations be adopted..

Attachments

1. Minutes of the Economic Development Committee - Airport Sub Committee meeting held on 01 April 2014.
2. Airport Redevelopment Newsletter



General Manager



Mayor



RECORD OF MEETING ECONOMIC DEVELOPMENT COMMITTEE

Airport Sub Committee

HELD AT BOGAN GATE

AT 12.30pm ON TUESDAY, 1 April 2014

PRESENT:

Deputy Mayor Councillor Alan Ward (Chair)
Mayor Cr Ken Keith
CR BJ McCorkell
Cr RC Haddin
Cr MJ Greenwood
Mr Kent Boyd, General Manager
Mr Les Finn, Director Technology & Corporate Services
Mr Ben Howard, (Acting) Director Engineering Services
Mrs Anna Wyllie, Economic and Business Development Manager
Mrs Sharon Ross, Manager Support Services

Meeting commenced at: 12.55pm

1. Apologies:

2. Declaration of Interest:

Nil

3. Confirmation of Previous Minutes:

That the Minutes from the Airport Sub Committee Meeting held on 5 November 2014 be confirmed.

Moved Cr MJ Greenwood, Seconded Cr RC Haddin

Carried

4. Business Arising from Minutes:

- Ben Howard informed the Committee that preliminary figures from early design plans indicate that it would cost approximately \$90,000 to widen the entry road to the airport. The widening of the road has already been incorporated into the design of the car park.
- Access to the Aero Club - it was decided that a meeting should be held with the aero club to discuss their priorities with accessible access to the aero club as the first priority.

Recommendation: That a meeting be arranged between the aero club and council representatives to discuss priorities.

Moved Cr RC Haddin, Seconded Cr MJ Greenwood

Airport Sub Committee Meeting Minutes
18 February 2014

A handwritten signature in black ink, appearing to be 'Ken Keith'.

General Manager

A handwritten signature in black ink, appearing to be 'Ken Keith'.

Mayor

5. Update on the RDAF project:

- An Airport newsletter was given to the committee which included an update on each of the projects.
- Sharon Ross informed the committee that the new runway lighting system should be operational by the week start the 6th April 2014.
- Anna Wyllie informed the committee that Council had submitted to the Department of Infrastructure and Regional Development the first two milestones required to meet the RDAF Grant acquittal, including invoicing the Department for the first instalment of the RDAF grant Fund money for \$150,000.

Recommendation: That the Airport Newsletter/ Media Release be made available public.

Moved Cr MJ Greenwood, Seconded Cr Mayor Cr Ken Keith

6. Approval of the Draft Architectural Functional Brief for the terminal

Recommendation: That the draft Architectural Functional Brief with a monetary value of \$1 million be recommended for adoption subject to stakeholder consultation including REX and medical retrieval consideration.

Moved CR BJ McCorkell, Seconded Cr MJ Greenwood

7. REX letter and passenger numbers:

Passenger numbers for January and February 2014 were provided to the committee.

Regional Express airlines (REX) has written to all airport owning councils requesting a moratorium on landing and other airport related fees that may impact on their cost of service. REX states that regional aviation is in a perilous position and requires community partnerships to ensure regional aviation's longevity.

Recommendation: That Council write to REX supporting to their concerns and confirming that Council has already committed to a 5 year agreement in pursuit if the community partnership goals.

Moved Mayor Cr Ken Keith, Seconded Cr RC Haddin

8. General Business

Nil

Meeting closed at 1.35pm.

Airport Sub Committee Meeting Minutes
18 February 2014



General Manager



Mayor

31 March 2014



Parkes Regional Airport RDAF Redevelopment Milestone One Report

The Parkes Regional Airport Redevelopment includes terminal refurbishment & expansion (replacing 1976 designs to meet passenger demands which have grown from 8,000 to 35,000pa with future projections of 40,000pa over the next 5 years), infrastructure and technology improvements, accessible design, NBN & new security regime readiness & areas annexed for commercial activities. .
will provide contemporary facilities, .

The airport services 4 Local Government Areas (Lachlan LGA consist 20% of passengers, travelling up to 150km to access the airport) & is critical to the region's social & economic development.

The project will generate significant regional economic impacts which will directly benefit and contribute to sustainable local and regional economic growth and lead to new private sector investment in the region (as highlighted in the attached Business Case. While technology continues to assist regional communities overcome the "tyranny of distance" there is no substitute for businesses to access convenient, reliable airports, which continues to be a major decision factor for investment. The Gross Regional Product (GRP) of the airport catchment area is growing at a faster rate than the State (6.7% over 2.3%) and the redevelopment of the airport is required to continue this pace of development as well as to act as a catalyst for future investment.

An Economic Assessment of the project found that it would increase the local economy (in terms of GRP) both directly and indirectly by \$5.3 million during construction and provide an annual increase of \$5.1 million during operation. In terms of employment (both directly and indirectly), the construction phase would generate 42 FTE jobs and 41 FTE jobs on an on-going basis in the economy during operation.

Market research carried out by AECgroup identified that the airport redevelopment could specifically encourage private sector investment including an air freight facility, aircraft maintenance facility, pilot training facilities as well as retail, commercial and accommodation developments. These investments would increase the capacity of the airport to facilitate air freight and build synergies with the National Logistics Hub located in Parkes.

General Manager

Mayor

Replacement of the Runway Lighting

Scope of Works

Parkes Regional Airport provides lighting on runway 04/22. The spacing of the runway lighting is currently 90 meters which does not comply with CASA requirements. Although an exemption has been provided by CASA for a limited duration, the current lighting system does not provide illumination to 100 candelas which is also a CASA requirement.

To ensure continuity of operation and certification, a runway lighting upgrade to lighting fixture spacing of 60 meters which provides illumi-

nation of 100 candelas is required.

The scope of the project included

- Runway lighting
- Taxiway lighting
- Windsock lighting
- Provision for additional taxiway lighting for future expansion
- Relocation of electrical cabinet including generator connectivity in case of power failure
- PAPI (advises pilots of correct angle of approach)
- RTIL (strobe lighting to define end of runway)



Trenching works underway during January 2014.

Current Status of the Installation of Lighting:

Airfield Lighting is well underway. The restricted runway closure and 4 inches of rain in early January 2014 had no impact on the provision of RPT Services to the community of Parkes and surrounding districts. Since then, the weather conditions have had minimum impact on the progress of the works with alternative

work being undertaken by the Contractor during excessive hot days or when wet. Lighting works are currently concentrated on installation of threshold lighting and commissioning from a Civil Aviation Safety Authority (CASA) Certified Pilot.

What has been done: Set out survey, erection of airfield lighting shed and cubicle, trenching for runway edge lights with concrete footings, new Primary and Secondary Windsocks, PAPI and RTIL installations, runway edge lighting and taxiway edge lighting installed.



Trenching works underway during January 2014.



PAPI footings and installation. 13 Feb 2014

General Manager

Mayor



PAPI footings and installation. 17 Feb 2014

What problems have been encountered: Initial relocation of the airfield lighting shed to a more suitable site which meant additional trenching and underboring costs. Minor delays due to light fittings being purchased from the UK clearing Australian customs. Other minor delays were encountered due to weather conditions.

Measures taken to address them: Variation of the contract to allow for additional expenditure due to shed relocation. Redistribution of works while awaiting fittings from the UK and changes in weather.

What's next: Commissioning and flight testing by CASA Certified Pilot (possibly the first week in April), removal of old lighting system including primary and secondary Windsocks and site clean up.

Demolition of Airport Huts

Scope of Works:

To expand and join the two car park at the airport council has sought quotations for a contractor to demolish :

- The storage structure between the two car parks area at the Airport
- The bathrooms behind the AeroClub
- The Brick structure at the entrance to the Airport car park

The demolition includes the removal of all structures

to ground level, removal of concrete or brick footings and concrete floor slabs.

Council received several quotations for the demolition of the airport structures and the contract was awarded to Byrne's Demolition

Council has also successfully lodged a DA for the removal of the structure, this included Council carrying out a photographic record of the four buildings at the airport prior to demolition, this was carried out by Lex and June Weaver and is now available in the local history section of the Parkes Library.

Existing Airport Structures prior to demolition



Aerial view of existing Airport Structures prior to demolition



General Manager

Mayor



Asphalt being laid July 2013



Preparing for hard stand
July 2013

Extension of the Airport Car Park

Scope of Works:

Stage 1 of the car parking area has created a hard-stand line marked car parking area. Stage 1 was also funded partially from NSW Community Partnership Community Grant. Stage 2 of the car park (hatched in the plan below) requires the demolition of the hut prior to proceeding which will facilitate a link between the two (2) car parking areas. Car park designs are well

in hand. Minor delays have been experienced with obtaining development consent for the demolition of the hut. To minimize the impact of the delays obtaining development consent for the demolition, quotations were sourced for the demolition works and a successful demolition contractor was appointed.

What has been done:

Sealing and line marking of the car park area, development consent including a heritage study, survey and design, quotations called and awarded for demolition works.

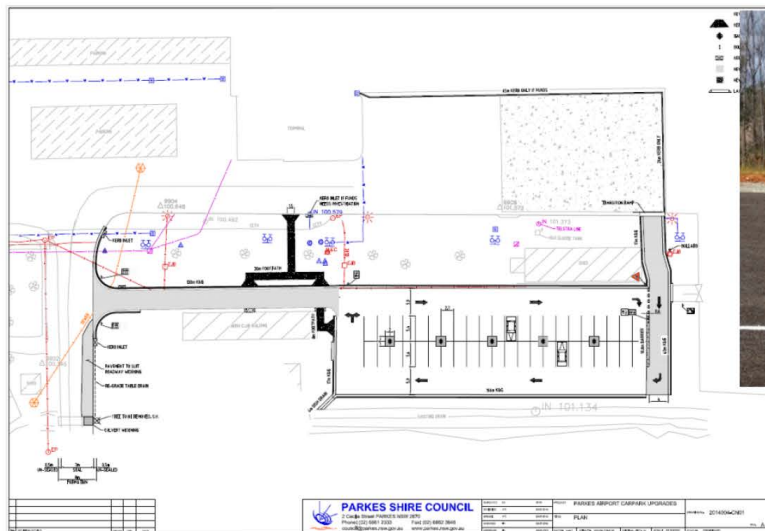
What problems have been encountered:

Obtaining development consent due to asbestos contamination within the storage hut and heritage concerns. Contractor commencing work due to weather conditions - wind and rain.

Measures taken to address them:

Contractor advised that demolition will commence Monday, 31 March 2014.

What's next: Demolition, landscaping, civil road works to link car park areas, footpath for pedestrian linkage.



line marking the sealed car park - 13 September 2013

General Manager

Mayor

Connection of Potable Water

Scope of Works: The upgrading of the Parkes Airport has included the connection of potable water to the site and in particular the terminal building. Parkes Airport has previously only had a raw water connection to the site, the installation of the potable waterline has been a significant achievement

and a vital upgrade to services.

The original scope of works was to run potable water from Military Rd Parkes to the Terminal at Parkes Regional Airport. This was a Distance of

approximately 2.5km. However the scope was expanded an additional 750m to provide flexibility to connect potable water to the proposed industrial and hangers precincts as set out per the recent Parkes Regional Airport Master plan .

Council installed 100ml PVC Blue Brute pipe.

During the planning of the route of the pipeline key consideration was given to roadside and site vegetation to ensure minimum environmental impacts.



Photo of area where the pipe line was to be laid which was taken as part of the environmental Impact statement.



Potable Water pipe being laid by Council—29 November 2013

General Manager

Mayor

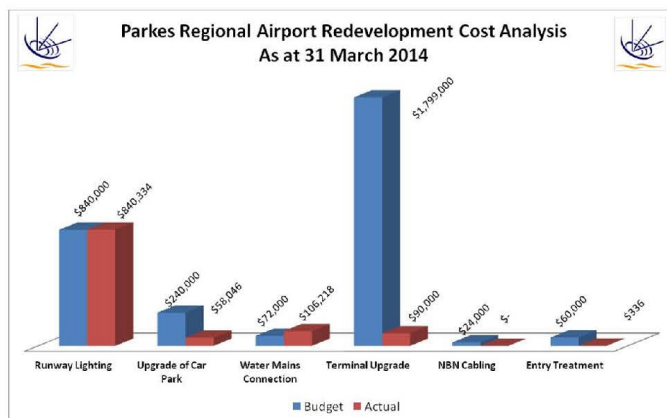


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Current Financial Status:



Parkes Regional Airport Redevelopment Actual vs. Budget Comparison (As at 31 March 2014)

	Budget \$	Actual \$
Runway Lighting	\$ 840,000	\$ 840,334
Upgrade of Car Park	\$ 240,000	\$ 58,046
Water Mains Connection	\$ 72,000	\$ 106,218
Terminal Upgrade	\$ 1,799,000	\$ 90,000
NBN Cabling	\$ 24,000	-
Entry Treatment	\$ 60,000	\$ 336
Total	\$ 3,035,000	\$ 1,094,934

General Manager

Mayor

15 QUESTIONS AND MATTERS OF URGENCY

16 CONSIDERATION OF CONFIDENTIAL BUSINESS ITEMS

16.1 (GM) Parkes Sports Council

Prepared By: General Manager

Reason for Confidentiality

This report is **CONFIDENTIAL** in accordance with Section 10A(2)(a) of the Local Government Act 1993 and Council's Code of Meeting Practice, which permits the meeting to be closed to the public for business relating to the following: -

- (a) personnel matters concerning particular individuals (other than councillors).

Executive Summary

The Parkes Sports Council (SC) has operated for decades, largely without change. The SC is very well established and very respected in Parkes and the envy of many other regions.

This report discusses compliance of the existing arrangements with current legislation.

Background Information

The Risk Review Committee has raised the legality of current arrangements with the Parkes SC, particularly regarding the payment of funds in excess of prescribed Local Government Act threshold.

Legislative, Policy & Management Planning Implications

Adoption of recommendations in this report will address probable non-compliance with tendering regulation and reconfirm the Parkes Sports Council as a Section 355 committee (*Local Government Act 1993*). It will also improve obligations under the WHS Act in relation to management of Staff.

Budget & Financial Aspects

Transfer of staff from the SC to PSC in principle will be on a quid pro quo basis, that is, the cost of salaries will be deducted from the annual SC payment. The salary component including on-costs is approximately \$177,475, the currently proposed 2014/15 payment to the SC is \$190,340 (including wages).



General Manager



Mayor

Recommendation

1. That Council agree in-principle to the strategy in this report.
2. That a report be made to open Council when the details of implementation are complete.

Report

The Risk Review Committee has identified the current arrangements with the Parkes SC as potentially breaching current legislation, particularly in relation to tendering legislation. Councils draft 2014/15 budget proposes to allocate \$190,340 to assist running the SC. Legislation currently requires that tenders be called where the amount exceeds \$150,000 (or \$137,000 excluding GST). In addition, the legal responsibility associated with SC staff would currently be "shared" between the SC and Parkes Council (PSC), but PSC actually has no input to the management, training, or WHS procedures for the staff. In the event of serious injury or death, this creates a serious responsibility for PSC over which it has no means of mitigating risk.

The SC is very well established and very respected in Parkes and the envy of many other regions, accordingly an incremental, least harm approach has been the basis for mitigating the above concerns.

In consideration of the above, an informal meeting was held with key members of the SC to consider options to move forward. It was suggested at that meeting that the SC staff be transitioned from staff of the SC to staff of PSC and that the SC then continue to operate existing management activities as a Section 355 committee with delegations provided under section 377 in a similar manner to current arrangements.

Notwithstanding possible industrial issues which would need to be worked through, a transition of this type where staff are directly employed by PSC and wages are directly paid, would significantly mitigate the two primary risks identified. Firstly, the amount of money needed to be paid to the SC by PSC would be reduced by the wage component, which would result in the amount of money paid being well below the \$150,000 threshold. Additionally, direct employment and control of the SC staff by PSC makes the line of responsibility clear in all regards, i.e. training, WHS, and all other matters. No doubt there will be some transitional issues in terms of management which would also need to be worked through.

Subject to Council's concurrence, it is therefore proposed to commence formal negotiations with the SC and SC staff to establish the above framework.

Attachments

Nil.



General Manager



Mayor